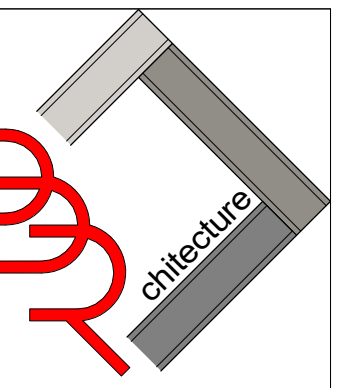


PROJECT DESCRIPTION:

CHURCHILL HS - ELEV. REPLACEMENT

MONTGOMERY COUNTY PUBLIC SCHOOLS

11300 GAINSBOROUGH ROAD
POTOMAC, MARYLAND 20854



502 W MAIN STREET
MIDDLETOWN, MARYLAND 21769
PHONE 240-994-1535
DROSANO@DDR-CHITECTURE.COM

BID SET

LEGEND:

	BRICK
	CMU
	CONCRETE
	FINISHED WOOD
	ROUGH WOOD
	PLYWOOD
	METAL
	GYPSUM BOARD
	RIGID INSULATION
	BATT INSULATION
	WINDOW OPENING TAG
	STOREFRONT TAG
	DOOR / FRAME TAG SEE SCHEDULE
	ROOM NAME 101 105 SF ROOM NAME, ROOM NUMBER, & AREA TAG SEE SCHEDULE
	DETAIL NUMBER
	SHEET TO LOCATE DETAIL
	DIRECTION OF VIEW
	ELEVATION NUMBER
	SHEET TO LOCATE ELEVATION
	DIRECTION OF CUTTING PLANE
	SECTION NUMBER
	SHEET TO LOCATE ELEVATION
	EXTENT OF SECTION CUT
	WALL TYPE, NON-RATED
	WALL TYPE, RATED
	REVISION NOTE
	KEY NOTE
	HEIGHT INDICATOR (ABOVE FINISHED FLOOR, ABOVE SEA LEVEL)
	INTERIOR ELEVATION KEY: ELEVATION INDICATOR
	SHEET TO LOCATE ELEVATION
	DIRECTION OF VIEW

ABBREVIATIONS:

A	ANGLE	L	LAMINATE
ACC.	ACCESSIBLE	LAV.	LAVATORY
ACOUS.	ACOUSTIC	LBS	POUNDS
ACT	ACOUSTICAL CEILING TILE	LIN. FT., LF	LINEAR FEET
A.D.	AREA DRAIN	LG.	LONG
ADJ.	ADJUSTABLE	L.L.H.	LONG LEG HORIZONTAL
A.F.F.	ABOVE FINISHED FLOOR	L.L.V.	LONG LEG VERTICAL
A.F.R.	ABOVE FINISHED ROOF	L.P.	LOW POINT
AIR COND.	AIR CONDITIONING	M	
ANCH.	ANCHORED	MAS.	MASONRY
ALT.	ALTERNATE	MATL.	MATERIAL
ALUM.	ALUMINUM	MAX.	MAXIMUM
A.P.	ACCESS PANEL	MECH.	MECHANICAL
APPROX.	APPROXIMATE	MFR.	MANUFACTURER
ARCH.	ARCHITECT	MIN.	MINIMUM
B		MISC.	MISCELLANEOUS
BD.	BOARD	M.O.	MASONRY OPENING
BIT.	BITUMINOUS	MTD.	MOUNTED
BLDG.	BUILDING	MTL.	METAL
BLKG.	BLOCKING	N	
B.O.F.	BOTTOM OF FOOTING	NAT.	NATURAL
BOT.	BOTTOM	N.I.C.	NOT IN CONTRACT
BRG.	BEARING	NO. #	NUMBER
C		NOM.	NOMINAL
C	CENTERLINE	N.T.S.	NOT TO SCALE
CAB.	CABINET	O	
C.J.; CNTRL. JT.	CONTROL JOINT	OA.	OVERALL
CLG.	CEILING	O/C	ON CENTER
CLG. HT.	CEILING HEIGHT	OCC.	OCCUPANCY
CLO.	CLOSET	O.D.	OUTSIDE DIAMETER
CLR.	CLEAR	OH.	OVERHANG, OVERHEAD
CMU	CONCRETE MASONRY UNIT	O.H.	OPPOSITE HAND
C.O.	CLEAN OUT	O/O	OUT TO OUT
COL.	COLUMN	OPENING	OPENING
CONC.	CONCRETE	OPP.	OPPOSITE
CONT.	CONTINUOUS	P	
CORR.	CORRIDOR	PL.	PLATE
C.T.	CERAMIC TILE	P. LAM.	PLASTIC LAMINATE
CTR.	CENTER	PLYWD.	PLYWOOD
D		POL.	POLISHED
DBL	DIAMETER DOUBLE	PREFAB.	PREFABRICATED
DET.	DETAIL	PREFIN.	PREFINISHED
D.F.	DRINKING FOUNTAIN	PR.	PAIR
DIA.	DIAMETER	P.T.	PRESSURE TREATED
DIM.	DIMENSION	PTD.	PAINTED
DR.	DOOR	P.V.C.	POLYVINYL CHLORIDE
DN.	DOWN	R	
D.S.	DOWNSPOUT	R.	RISERS; RADIUS
DTL.	DETAIL	RCP	REFLECTED CEILING PLAN
DW.G.	DRAWING	R.D.	ROOF DRAIN
E		RECEPT.	RECEPTACLE
EA.	EACH	REINF.	REINFORCING
E.J.	EXPANSION JOINT	REQ'D	REQUIRED
EL. ELEV.	ELEVATION	REV.	REVISED
ELEC.	ELECTRIC	RM.	ROOM
EQU.	EQUAL	R.O.	ROUGH OPENING
EQUIP.	EQUIPMENT	R.O.W.	RIGHT OF WAY
ETR	EXISTING TO REMAIN	S	
E.W.C.	EACH WAY	SCHED.	SCHEDULE
E.W.C.	ELECTRIC WATER COOLER	SECT.	SECTION
EX. EXIST.	EXISTING	S.F.	SQUARE FOOT/FEET
EXP.	EXPANSION	SHT.	SHEET
EXT.	EXTERIOR	SIM.	SIMILAR
F		S.M.P.	SOLID MASONRY PIER
F.D.	FLOOR DRAIN	SPEC.	SPECIFICATIONS
F.D.C.	FIRE DEPARTMENT CONNECTION	SQ.	SQUARE
F.E.	FINISHED END	ST. STL.	STAINLESS STEEL
F.E.C.	FIRE EXTINGUISHER CABINET	STD.	STANDARD
FIN.	FINISH	STL.	STEEL
FLR.	FLOOR	STOR.	STORAGE
FLUOR.	FLUORESCENT	STRUCT.	STRUCTURAL
F.O. EX.	FACE OF EXISTING	SUSP.	SUSPENDED
F.R.P.	FIBERGLASS REINF. PLASTIC	SYM.	SYMMETRICAL
FRTW	FIRE RETARDANT TREATED WOOD	T	
FT.	FOOT/FEET	T.	TREAD, THERMOSTAT
FTG.	FOOTING	TEL	TELEPHONE
FURR.	FURRING/FURRED	T & G	TONGUE AND GROOVE
G		THK.	THICKNESS
GA.	Gauge	THRU.	THROUGH
GALV.	GALVANIZED	T.O. J.	TOP OF JOIST
G.B.	GRAB BAR	T.O.M.	TOP OF MASONRY
G.C.	GENERAL CONTRACTOR	T.O.S.	TOP OF SLAB
GL.	GLASS	T.O.STL.	TOP OF STEEL
GRD.	GRADE	T.O.W.	TOP OF WALL
GSSF.	GROSS SQUARE FOOTAGE	TLT.	TOILET
GYP. BD., GWB.	GYPSUM WALL BOARD	TYP.	TYPICAL
H		U.O.N.	UNLESS OTHERWISE NOTED
H.B.	HOSE BIBB	V	
H.C.	HANDICAPPED	VAR.	VARIES
HDW.	HARDWARE	V.C.T	VINYL COMPOSITION TILE
HM.	HOLLOW METAL	VERT.	VERTICAL
HORIZ.	HORIZONTAL	VEST.	VESTIBULE
HT.	HEIGHT	V.I.F.	VERIFY IN FIELD
HVAC	HEATING, VENTILATION & AIR CONDITIONING	V.W.C.	VINYL WALL COVERING
I		W	
I.D.	INSIDE DIAMETER	W.	WIDTH
IN. "	INCHES	WD.	WOOD
INFO.	INFORMATION	WGT., WT.	WEIGHT
INSUL.	INSULATION	W/O.	WITHOUT
INT.	INTERIOR	WP.	WEATHERPROOF
J		WWF	WELDED WIRE FABRIC
JAN.	JANITOR		
JT.	JOINT		

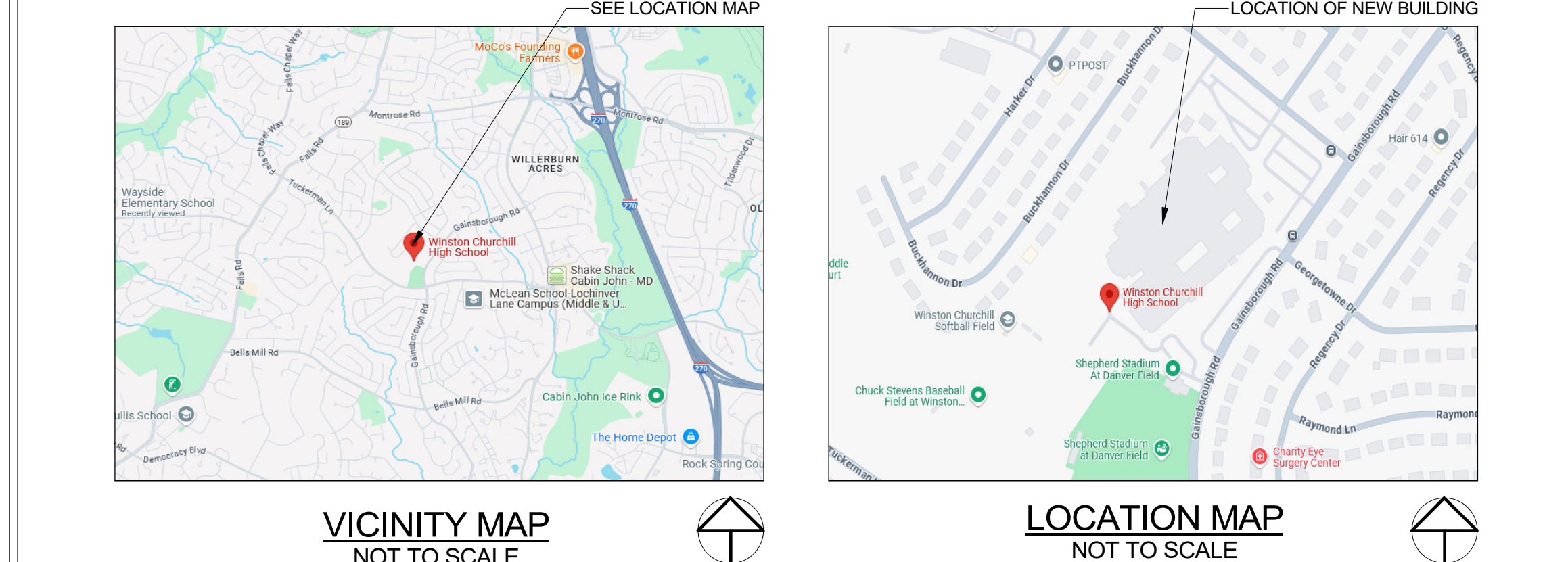
CONTACTS:

BUILDING OWNER
MONTGOMERY COUNTY PUBLIC SCHOOLS
45 W. GUDE DRIVE
ROCKVILLE, MD 20850
TEL: (240) 740-7700

ARCHITECT
DDR-CHITECTURE, LLC
502 W MAIN STREET
MIDDLETOWN, MD 21769
TEL: (240) 994-1535

MECH. / ELEC. ENGINEER
JAMES POSEY ASSOCIATES
11155 RED RUN BOULEVARD
OWINGS MILLS, MD 21117
TEL: (410) 265-6100

VICINITY & LOCATION MAP:



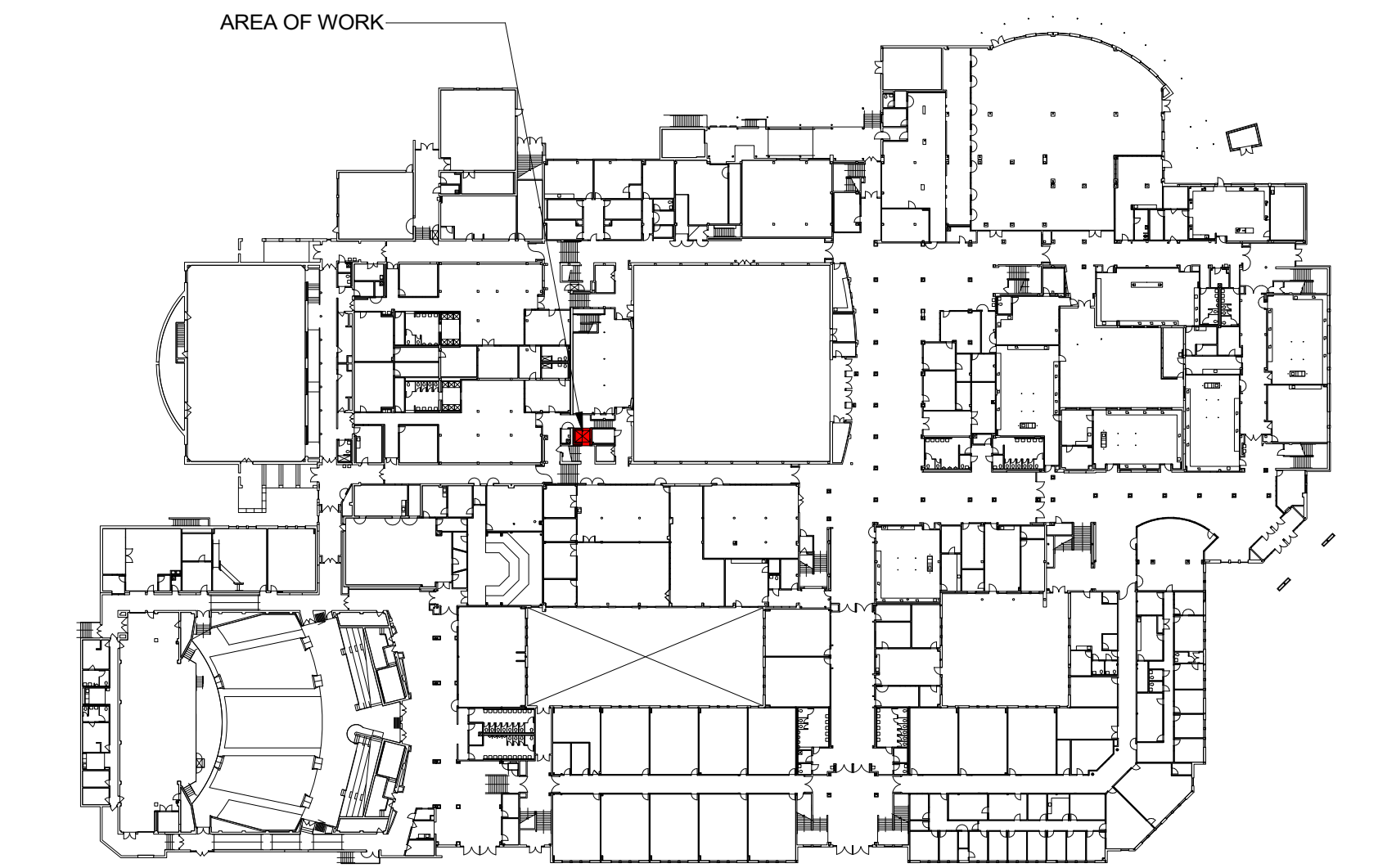
BUILDING DATA:

CATEGORY:	EXISTING:	PROPOSED:
BUILDING AREA	APPROX. 321,410	NO CHANGE TO EXISTING BUILDING
AREA OF ALTERATION	306 SF	N/A
BUILDING HEIGHT	35' - 0" +/-	NO CHANGE TO EXISTING BUILDING
OCCUPANCY CLASSIFICATION	E AND A3	NO CHANGE TO EXISTING BUILDING
SPRINKLER (Y/N)	Y	Y
FIRE ALARM (Y/N)	Y	Y
HIGH RISE (Y/N)	N	N
STANDPIPES (Y/N)	N	N
CONSTRUCTION TYPE	IIB	IIB

DRAWING LIST:

DRAWING NUMBER	DRAWING NAME
GENERAL	
T101	COVER SHEET
C101	CODE ANALYSIS
ARCHITECTURAL	
D101	DEMOLITION PLANS
A101	FLOOR PLANS
A501	SECTIONS
MECHANICAL	
M001	SYMBOLS, ABBREVIATIONS, SCHEDULES AND CONTROLS
MD101	PART ELEVATOR FLOOR PLANS - MECHANICAL - DEMOLITION
M101	PART ELEVATOR FLOOR PLANS - MECHANICAL - NEW WORK
M501	DETAILS AND DIAGRAMS
ELECTRIC	
E001	ELECTRICAL SYMBOLS AND ABBREVIATIONS
E002	PART OVERALL FLOOR PLANS - ELECTRICAL
ED101	PART ELEVATOR FLOOR PLANS ELECTRICAL DEMOLITION
E101	PART ELEVATOR FLOOR PLANS ELECTRICAL NEW WORK

KEY PLAN MAIN LEVEL:



PROJECT DESCRIPTION:

INTERIOR ALTERATION TO EXISTING ELEVATOR; REPLACEMENT IN EXISTING SHAFT LOCATION.

NO CHANGE TO STRUCTURAL SYSTEM, HEIGHT, AREA, OR OCCUPANCY OF BUILDING.

ALL EXISTING STAFF AND STUDENT TOILETS TO REMAIN.

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No. 15547
EXPIRATION DATE 10/27/2026



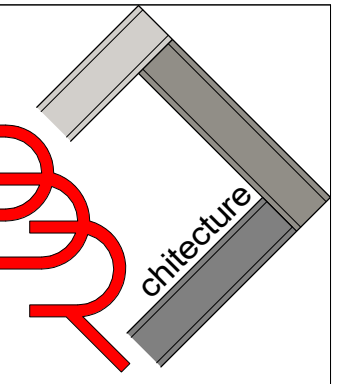
CHURCHILL HS - ELEV. REPLACEMENT
MONTGOMERY COUNTY PUBLIC SCHOOLS
11300 GAINSBOROUGH ROAD
POTOMAC, MARYLAND 20854

ISSUE

REV	DATE	DESCRIPTION
1	01/07/25	BID SET

PROJECT NO.: 2024-13.04
DATE: 01/07/25
COVER SHEET

T101



502 W MAIN STREET
MIDDLETOWN, MARYLAND 21769
PHONE 240-994-1535
DROSANO@COR-CHTURE.COM

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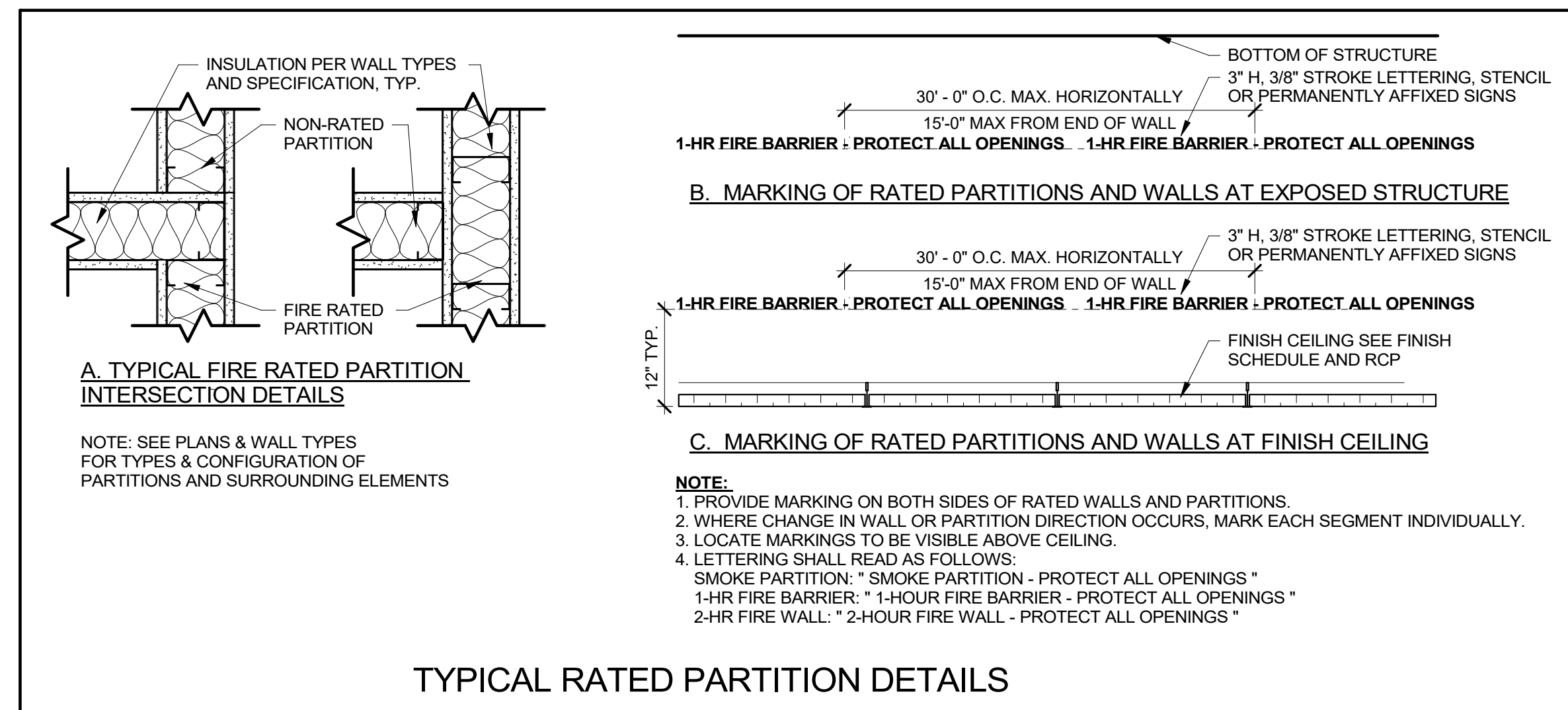
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1	01/07/25	BID SET

PROJECT NO.: 2024-13.04
DATE: 01/07/25

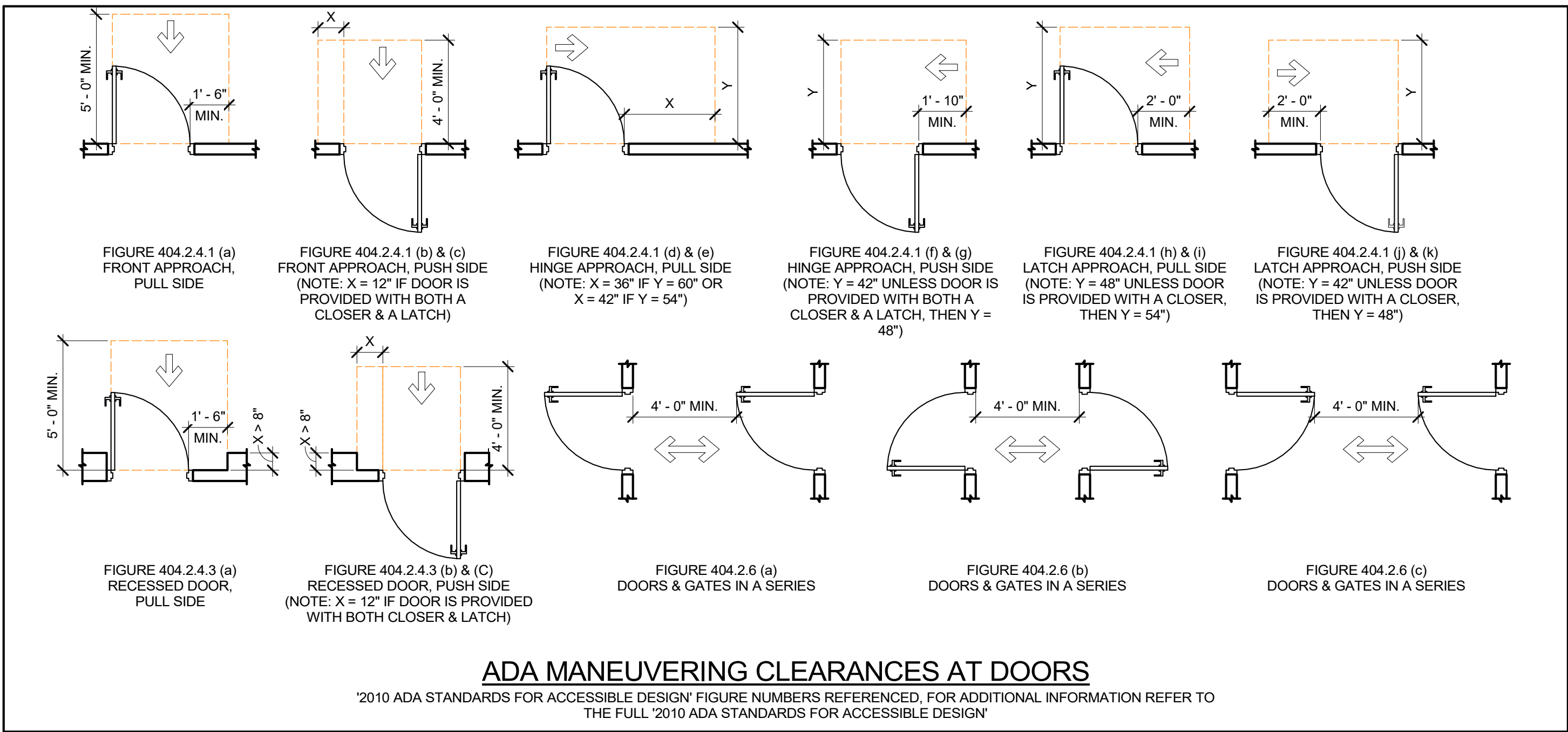
CODE ANALYSIS

C101

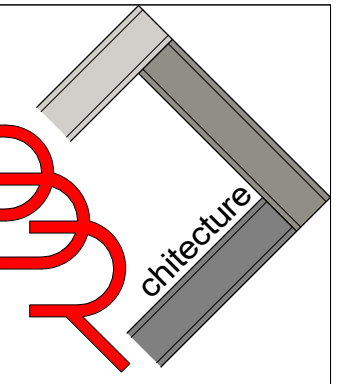
APPLICABLE BUILDING CODES	
AUTHORITY HAVING JURISDICTION: CITY / COUNTY, STATE: MONTGOMERY COUNTY, MD	
1. BUILDING CODE:	2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL EXISTING BUILDING CODE MARYLAND STATE REHABILITATION CODE
2. FIRE CODE:	2015 NFPA 1 FIRE CODE & 101 LIFE SAFETY CODE W/ LOCAL AMENDMENTS
3. MECHANICAL:	2018 INTERNATIONAL MECHANICAL CODE (IMC)
4. ENERGY:	2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
5. GAS:	WSSC
6. PLUMBING:	WSSC
7. SPRINKLER:	NFPA 13: STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, LATEST EDITION
8. FIRE ALARM:	NFPA 72: NATIONAL FIRE ALARM AND SIGNALING CODE, LATEST...
9. ELECTRICAL:	2017 NATIONAL ELECTRICAL CODE (NEC) W/ LOCAL AMENDMENTS
10. ACCESSIBILITY:	2015 INTERNATIONAL BUILDING CODE, CHAPTER 11 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN & MARYLAND ACCESSIBILITY CODE (COMAR.05.02.02)
11. GREEN:	2012 INTERNATIONAL GREEN CONSTRUCTION CODE (IgCC)



1 TYPICAL RATED PARTITION DETAIL
C101 NOT TO SCALE



2 ADA DOOR REQUIREMENTS
C101 SCALE: 1/4" = 1'-0"



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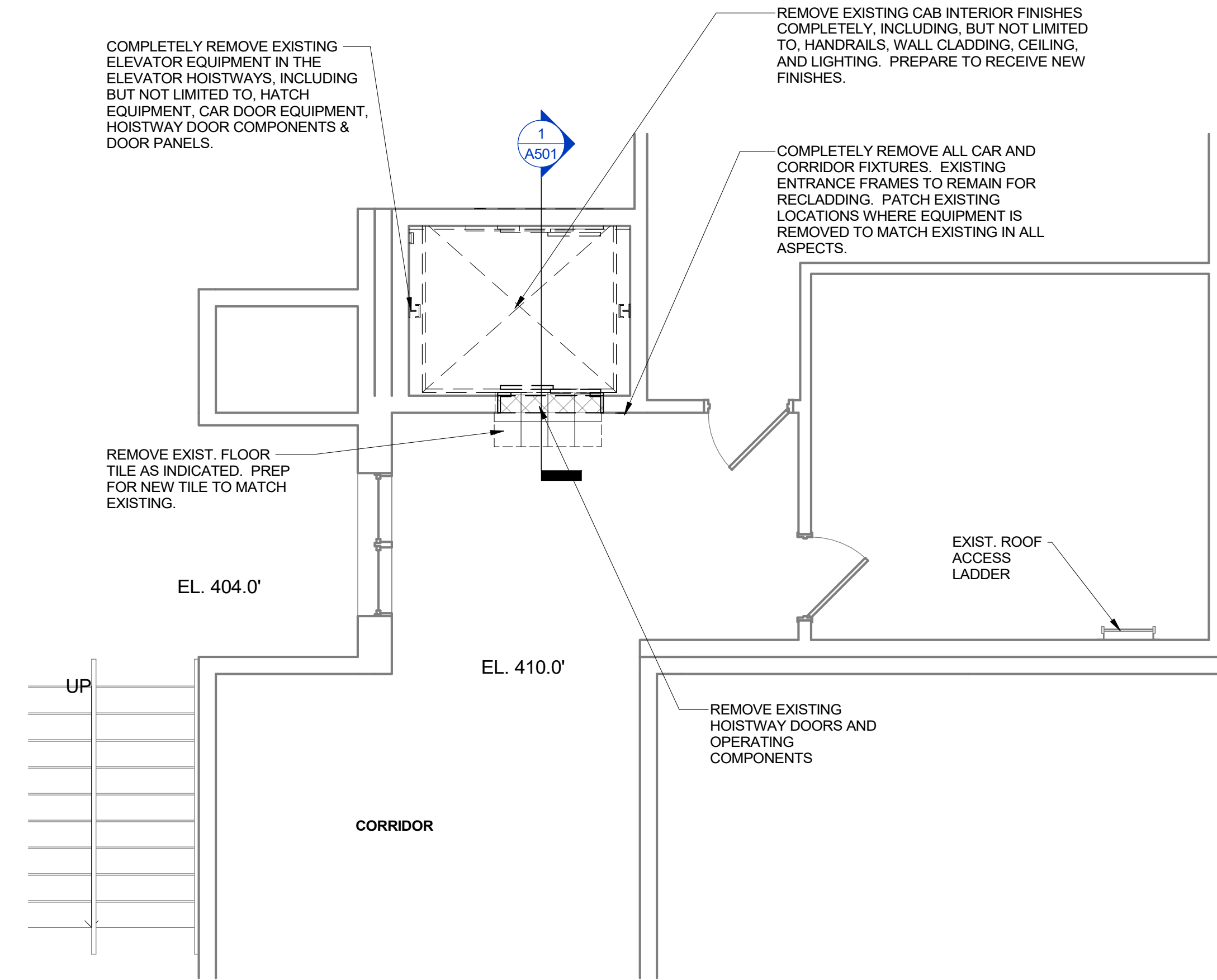
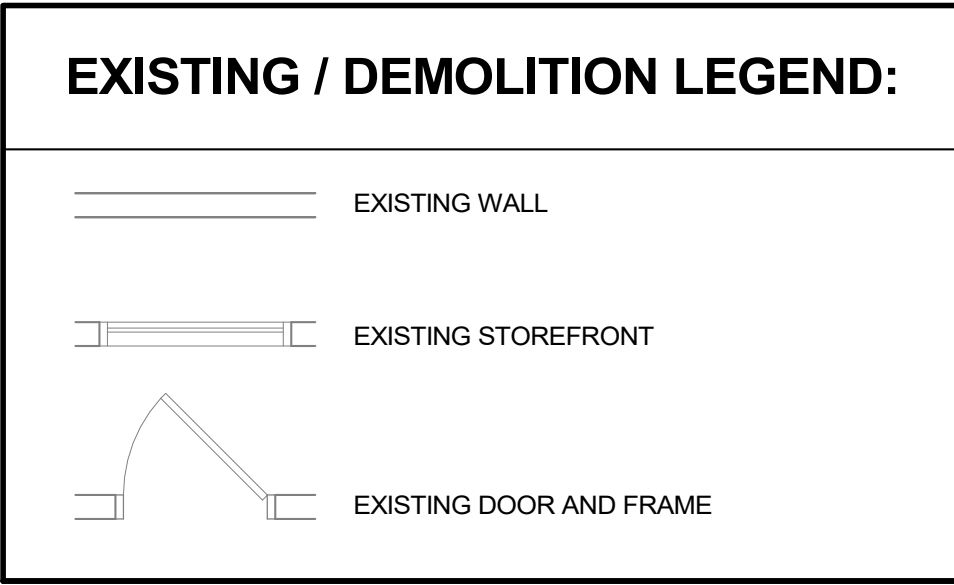
CHURCHILL HS - ELEV. REPLACEMENT
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ISSUE

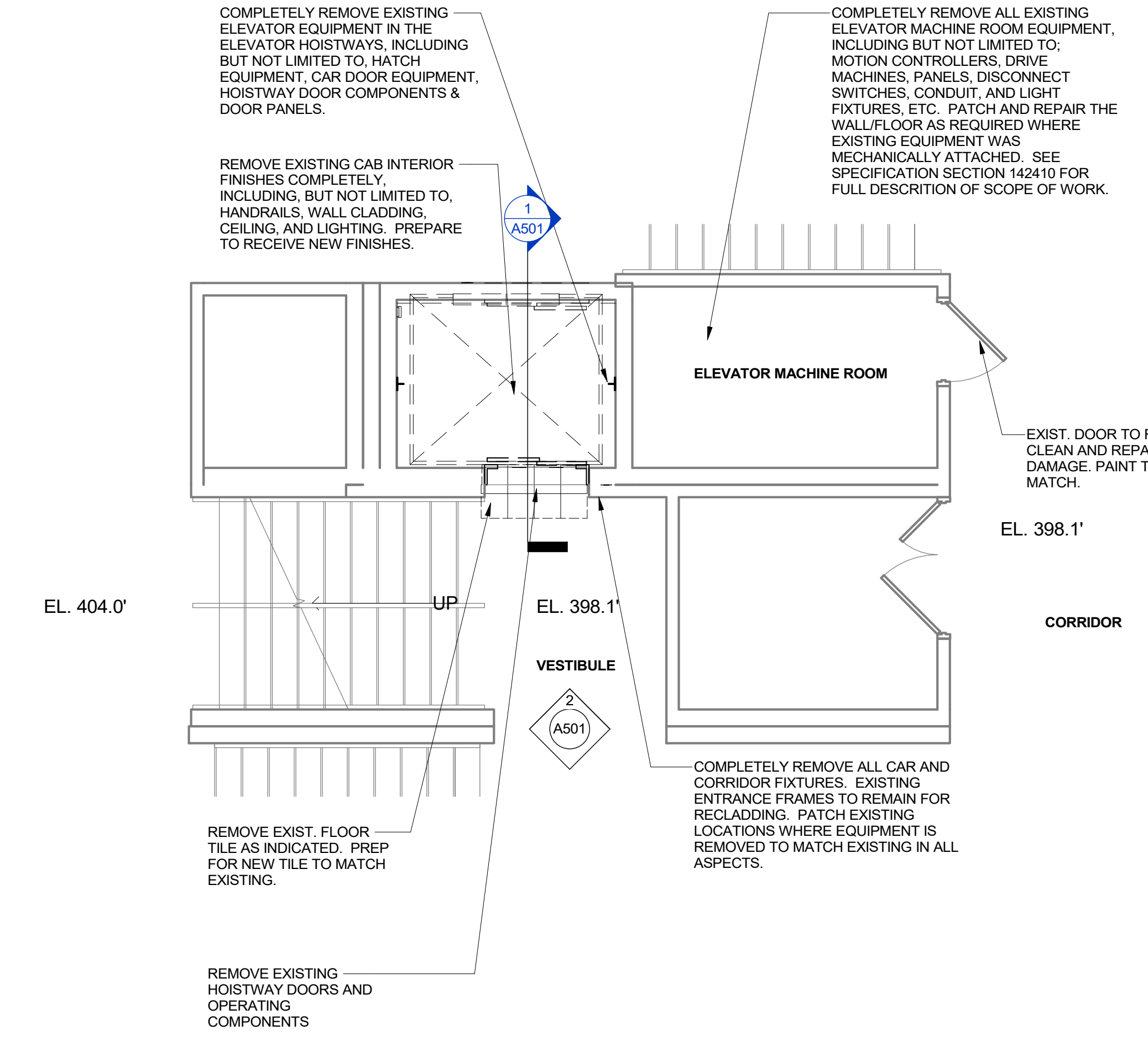
REV	DATE	DESCRIPTION
1	01/07/25	BID SET

PROJECT NO.: 2024-13.04
DATE: 01/07/25
DEMOLITION PLANS

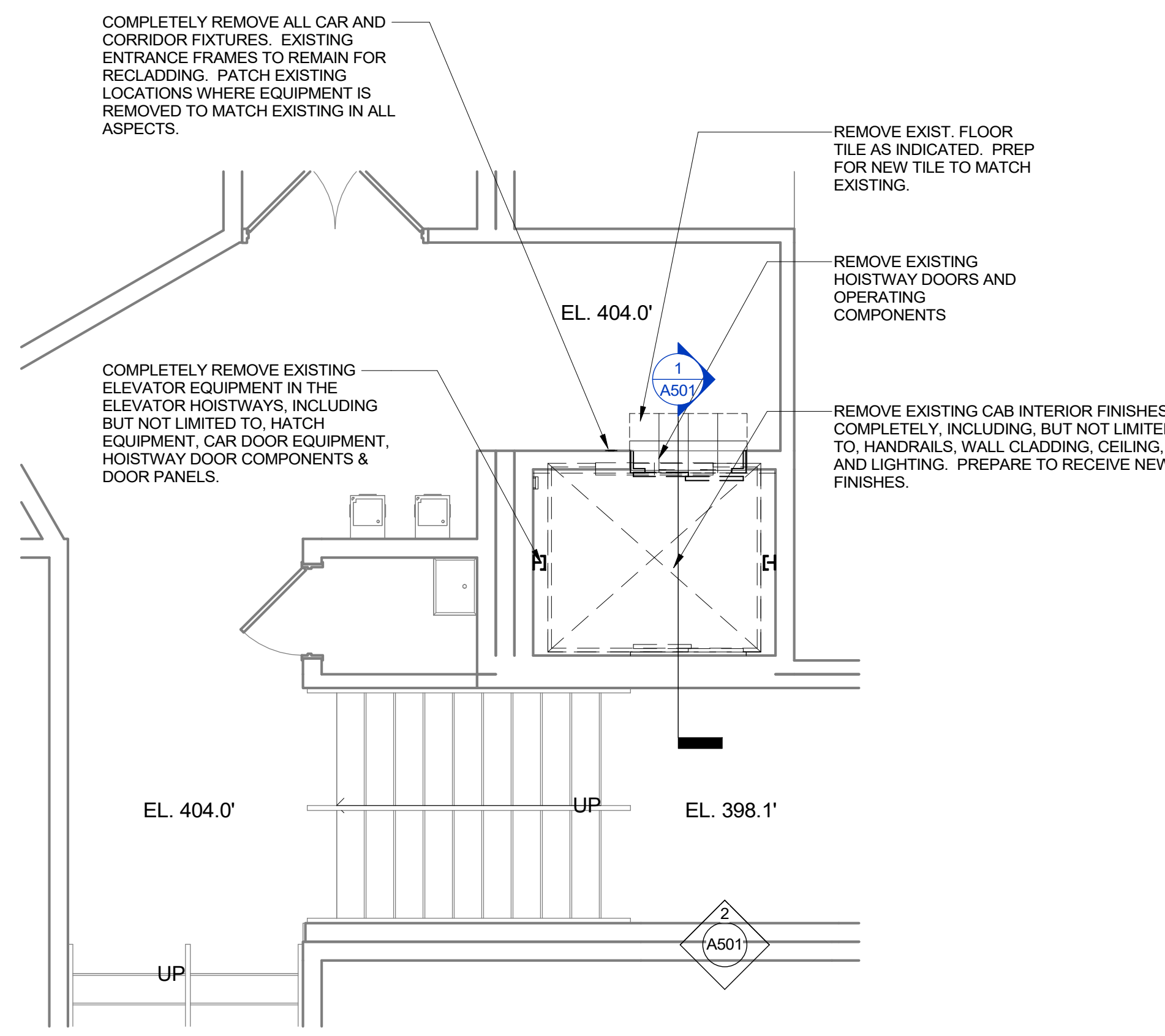
D101



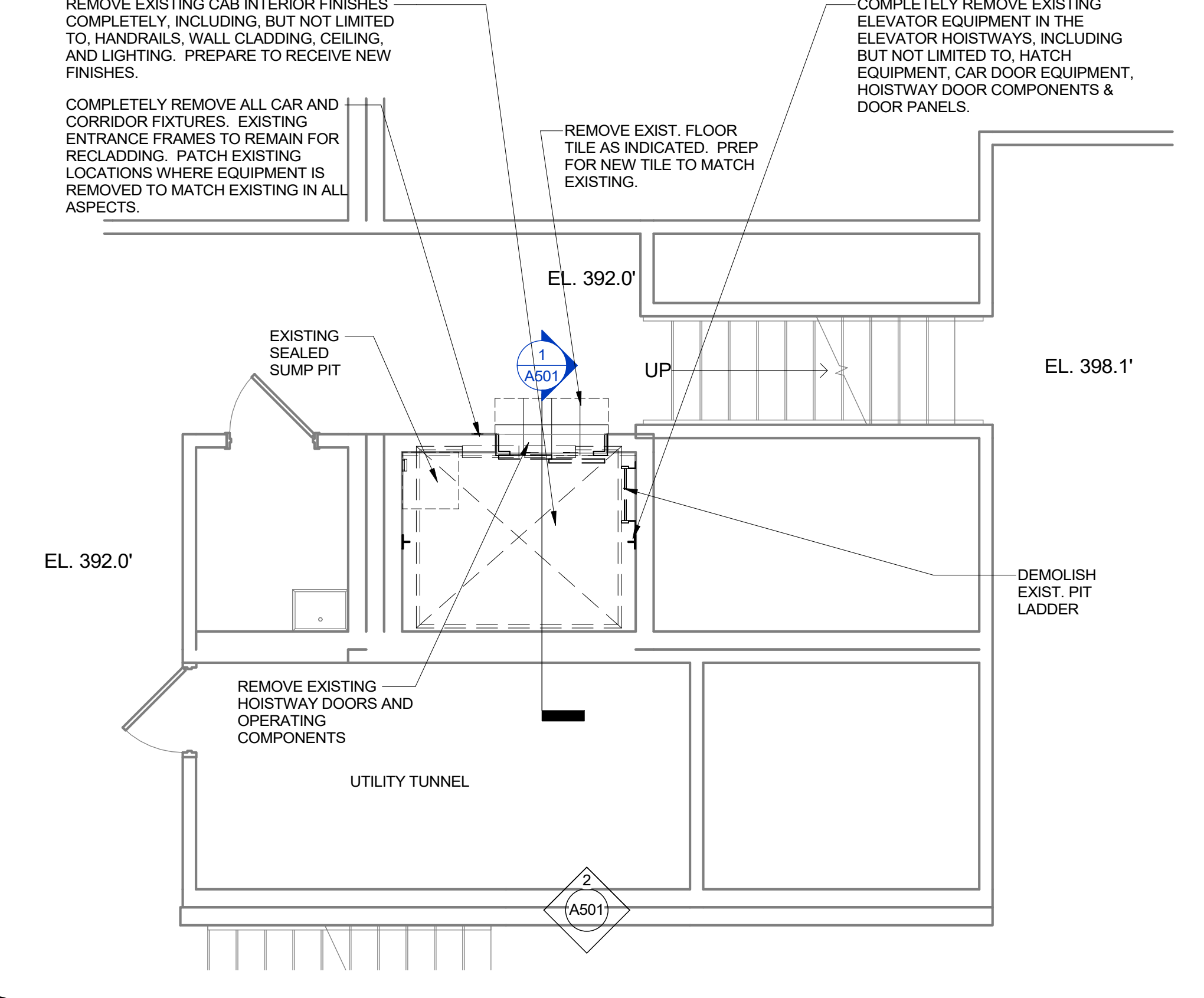
4 PARTIAL PLAN - ELEVATOR THIRD FLOOR - DEMOLITION
SCALE: 1/4" = 1'-0"



2 PARTIAL PLAN - ELEVATOR MAIN LEVEL - DEMOLITION
SCALE: 1/4" = 1'-0"



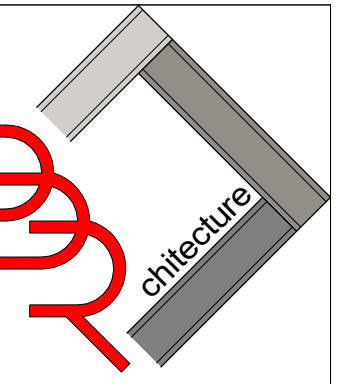
3 PARTIAL PLAN - ELEVATOR SECOND FLOOR - DEMOLITION
SCALE: 1/4" = 1'-0"



1 PARTIAL PLAN - ELEVATOR LOWER LEVEL - DEMOLITION
SCALE: 1/4" = 1'-0"

- GENERAL DEMOLITION NOTES:**
- AREAS OF DEMOLITION DENOTED BY DASHED LINES.
 - THE CONTRACTOR SHALL WALK THROUGH WITH THE OWNER PRIOR TO DEMOLITION TO DETERMINE SALVAGEABLE FIXTURES. RETURN ALL SALVAGEABLE MATERIAL AND/OR EQUIPMENT NOTED TO BE REMOVED ON DEMOLITION SHEETS TO THE OWNER. THE OWNER SHALL STORE SALVAGEABLE MATERIAL AND/OR EQUIPMENT AT THEIR DISCRETION. THE CONTRACTOR SHALL DISPOSE OF ALL NON-SALVAGEABLE MATERIALS IN ACCORDANCE WITH OWNER'S RECOMMENDATIONS AND LOCAL CODES.
 - THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT ON ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE ANTICIPATED DESIGN.
 - ALL AREAS OF DEMOLITION SHALL BE PATCHED OR REPAIRED AS REQ'D.
 - COORDINATE DEMOLITION WITH ANTICIPATED NEW CONSTRUCTION INCLUDING BUT NOT LIMITED TO, CEILINGS, LIGHTS, POWER, DATA, SPRINKLER HEADS, WALLS, DOORS, FRAMES, HARDWARE, FINISHES, CONCRETE SLABS, ETC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING AT ALL TIMES AND TO PROVIDE AND BE RESPONSIBLE FOR SHORING AND BRACING REQUIRED THROUGHOUT THE CONSTRUCTION PERIOD.
 - ANY ITEMS NOT NOTED TO BE DEMOLISHED, BUT REQUIRING REMOVAL IN ORDER TO ACCOMPLISH THE REQUIRED DEMOLITION WORK, SHALL BE REINSTALLED OR REPLACED IN KIND IN LOCATION DIRECTED BY OWNER UPON COMPLETION OF THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
 - ANY AREAS DAMAGED BY THE DEMOLITION AND/OR CONSTRUCTION WORK SHALL BE REPAIRED AND/OR RECEIVE NEW SUBSTRATES, FINISHES, AND/OR MATERIALS TO MATCH THE EXISTING AFFECTED ITEMS. ANY REPAIR OR REPLACEMENT WORK SHALL BE PERFORMED TO A LEVEL OF QUALITY EQUAL TO THAT FOUND PRIOR TO BEGINNING WORK ON THIS PROJECT.
 - EXISTING FACILITY WILL BE OPERATIONAL AT THE TIME OF CONSTRUCTION. COORDINATE WITH MOPS TO MINIMIZE CONFLICTS & FACILITATE THEIR USAGE AND PERFORM THE WORK SO AS TO NOT INTERFERE WITH THEIR OPERATIONS. ANY SERVICE OR UTILITY INTERRUPTIONS SHALL BE COORDINATED WITH THE BUILDING OWNER PRIOR TO DISRUPTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE JOBSITE PRIOR TO SUBMITTING A BID. ALL VISIBLE ASPECTS OF THE EXISTING CONDITIONS & ALL WORK REASONABLY INFERRED THEREFROM WILL BE CONSIDERED TO BE INCLUDED WITHIN THE BASE BID AND NOT CONSIDERED AS EXTRA WORK.
 - THE SELECTIVE DEMOLITION AS SHOWN ON THE DRAWINGS IS DIAGRAMMATIC, AND IN NO WAY ATTEMPTS TO SHOW ALL EXISTING FIXTURES, CONNECTIONS AND FITTINGS, AND OTHER MISCELLANEOUS ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING / COORDINATING ALL MISCELLANEOUS DEMOLITION AS REQUIRED DUE TO FIELD CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL THE CONTAINMENT OF DUST AND DEBRIS DURING THE DEMOLITION PERIOD AND SHALL OBTAIN ALL REQUIRED PERMITS AND COORDINATE WITH THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. DAILY SITE CLEANING WILL BE REQUIRED AND ADDITIONAL CLEANING IF REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.
 - PRIOR TO BEGINNING DEMOLITION, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A DEMOLITION PLAN OUTLINING THE DESIRED PLACEMENT OF DUMPSTERS, DUST AND DEBRIS CONTROL MEASURES AND SCHEDULE OF ACTIVITIES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO EACH DEMOLITION ACTIVITY.
 - PROVIDE TEMPORARY COVER OR PARTITIONS TO PROTECT EXISTING BUILDING DURING CONSTRUCTION FROM EXPOSURE TO AND DAMAGE FROM THE ELEMENTS.
 - EXISTING FINISHES SPECIFICALLY NOT CALLED OUT TO BE REMOVED ARE TO REMAIN (PAINT, FLOORING, ETC.). PREPARE EXISTING SURFACES FOR APPLICATION OF ANTICIPATED NEW FINISHES AS REQUIRED BY MANUFACTURER RECOMMENDATIONS.
 - SEE MECHANICAL, PLUMBING, & ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.

GENERAL NOTES - DEMOLITION
SCALE: 1/4" = 1'-0"



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FLOOR PLANS

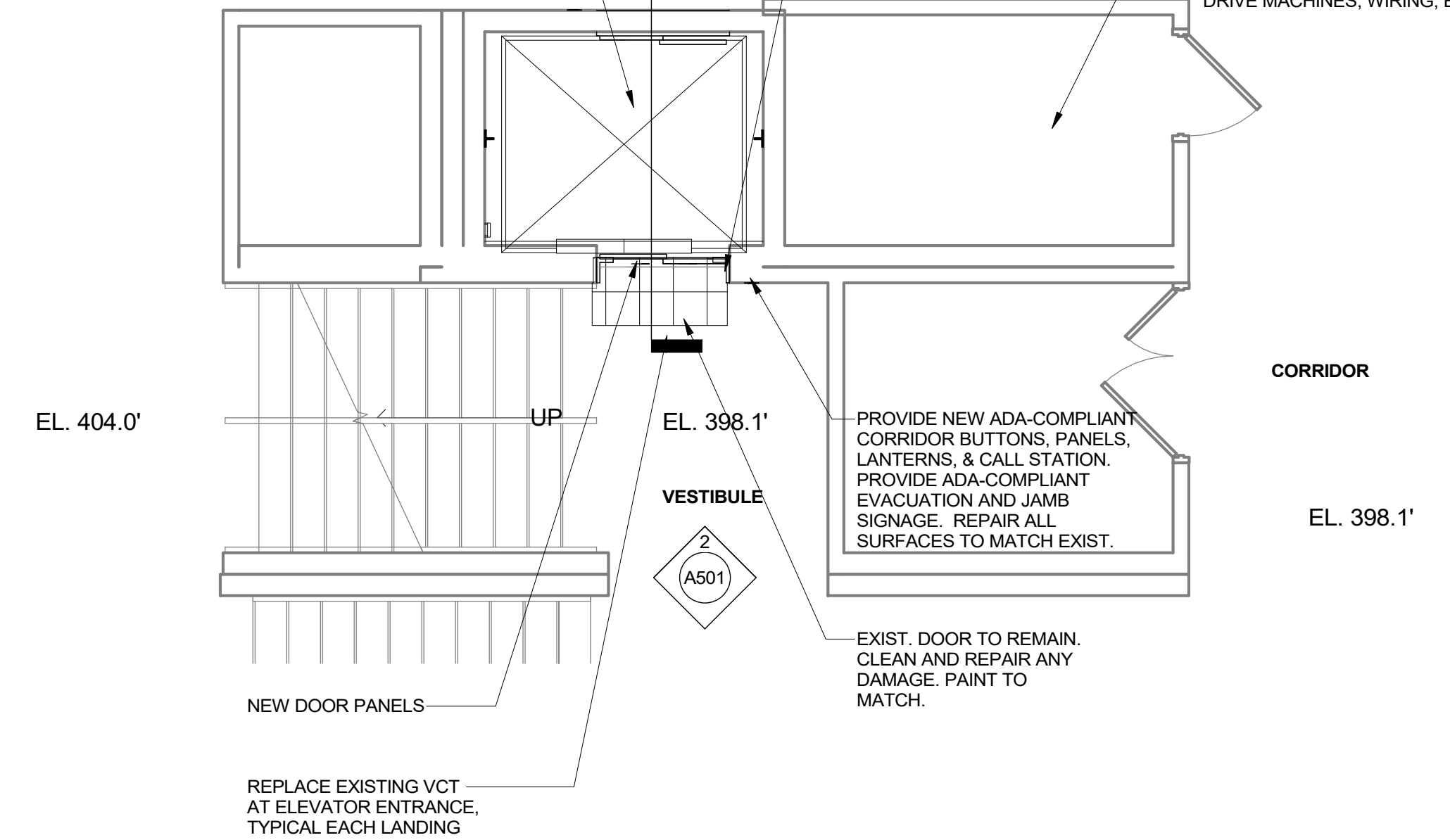
A101

REMOVE AND REPLACE CEILING TILES AS NEEDED IN CORRIDOR TO INSTALL NEW CONDENSATE LINE. REPLACE ANY TILES DAMAGED DURING CONSTRUCTION TO MATCH EXISTING.

PROVIDE NEW FINISHES WITHIN THE ELEV. CAB., INCLUDING BUT NOT LIMITED TO: RUBBER TILE FLOORING, CEILING, AND WALL FINISHES. INSTALL NEW CAB ACCESSORIES, SS #4 FLAT HANDRAILS, 3" H. LIGHTING, COMMUNICATION EQUIPMENT, AND CONTROLS TO MEET ADAAG 407.4.1 MIN. CLEARANCES OF 60" X 60".

INSTALL NEW STAINLESS STEEL ELEVATOR DOOR JAMB WRAP OVER EXIST. METAL ELEVATOR ENTRANCE FRAME. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. PROVIDE SEALANT AT ALL INTERSECTIONS WITH DISSIMILAR MATERIALS.

INSTALL NEW HYDRAULIC ELEV MACHINE ROOM EQUIPMEN, INCLUDING BUT NOT LIMITED TO: MOTION CONTROLLERS, DRIVE MACHINES, WIRING, ETC.

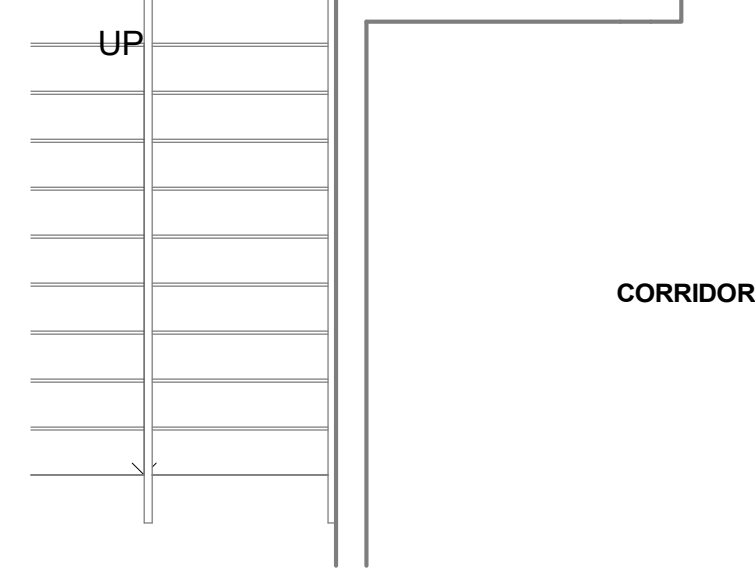


2 PARTIAL PLAN - ELEVATOR MAIN LEVEL
SCALE: 1/4" = 1'-0"

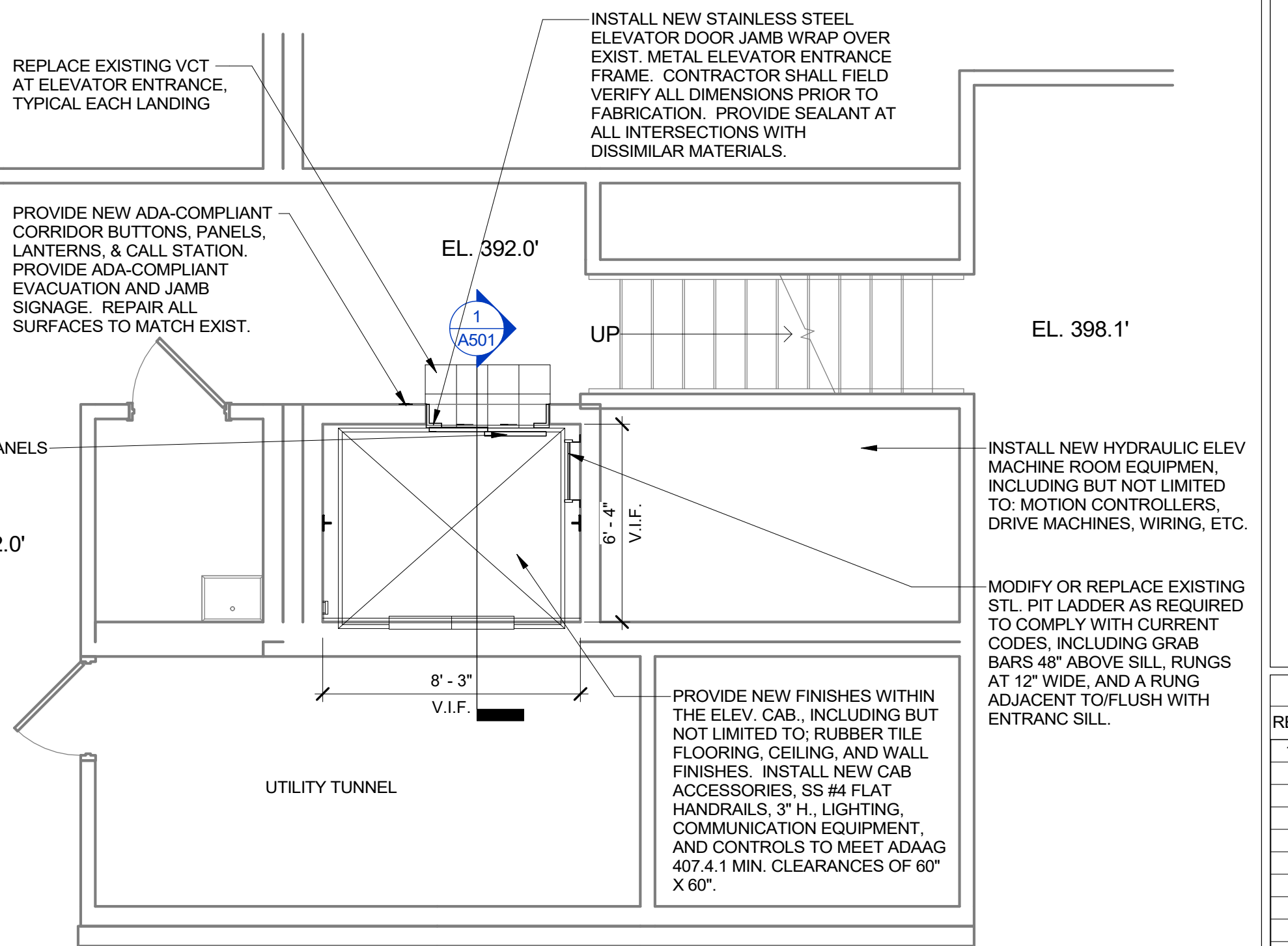
INSTALL NEW STAINLESS STEEL ELEVATOR DOOR JAMB WRAP OVER EXIST. METAL ELEVATOR ENTRANCE FRAME. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. PROVIDE SEALANT AT ALL INTERSECTIONS WITH DISSIMILAR MATERIALS.

PROVIDE NEW ADA-COMPLIANT CORRIDOR BUTTONS, PANELS, LANTERNS, & CALL STATION. PROVIDE ADA-COMPLIANT EVACUATION AND JAMB SIGNAGE. REPAIR ALL SURFACES TO MATCH EXIST.

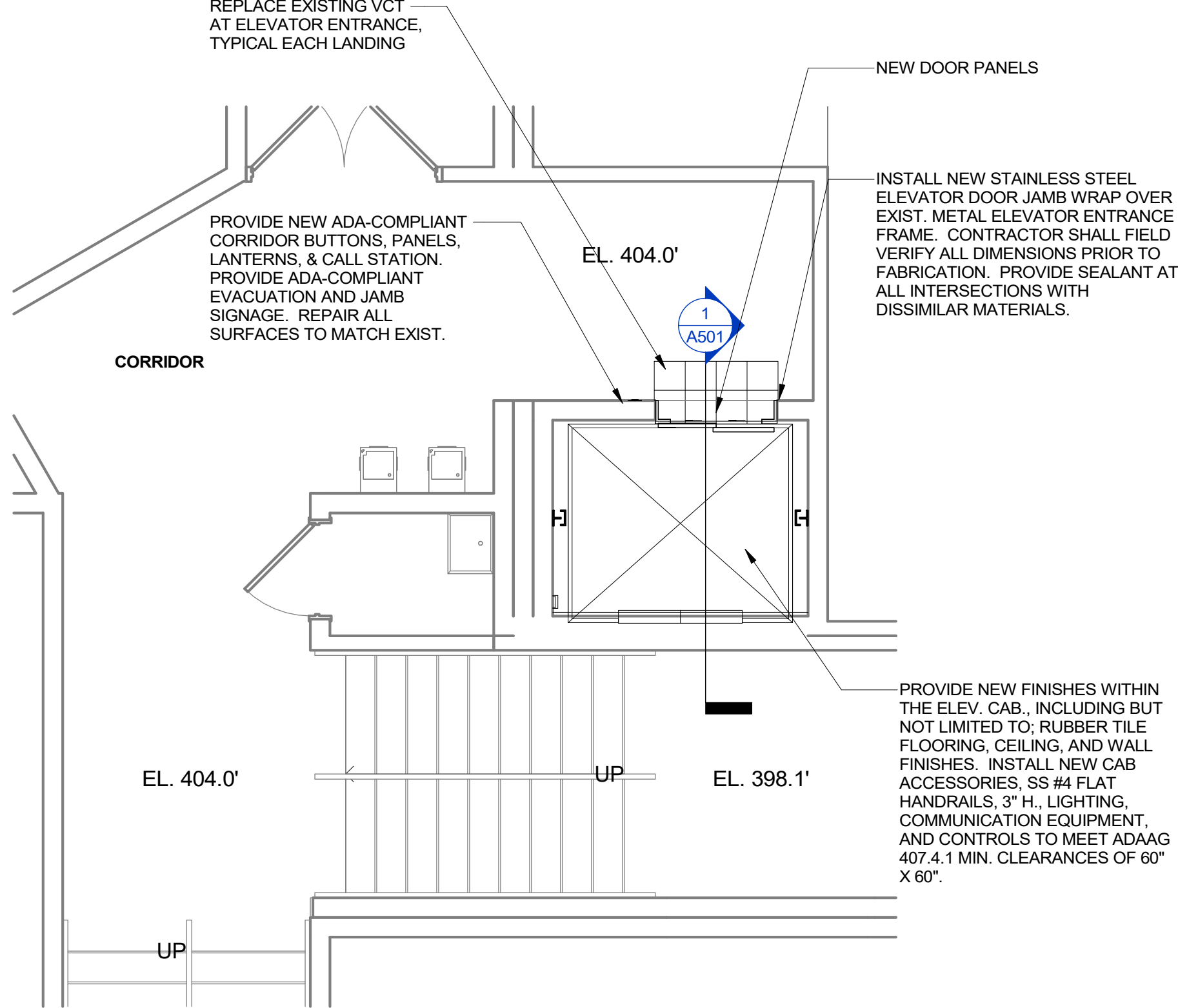
REPLACE EXISTING VCT AT ELEVATOR ENTRANCE, TYPICAL EACH LANDING



4 PARTIAL PLAN - ELEVATOR THIRD FLOOR
SCALE: 1/4" = 1'-0"

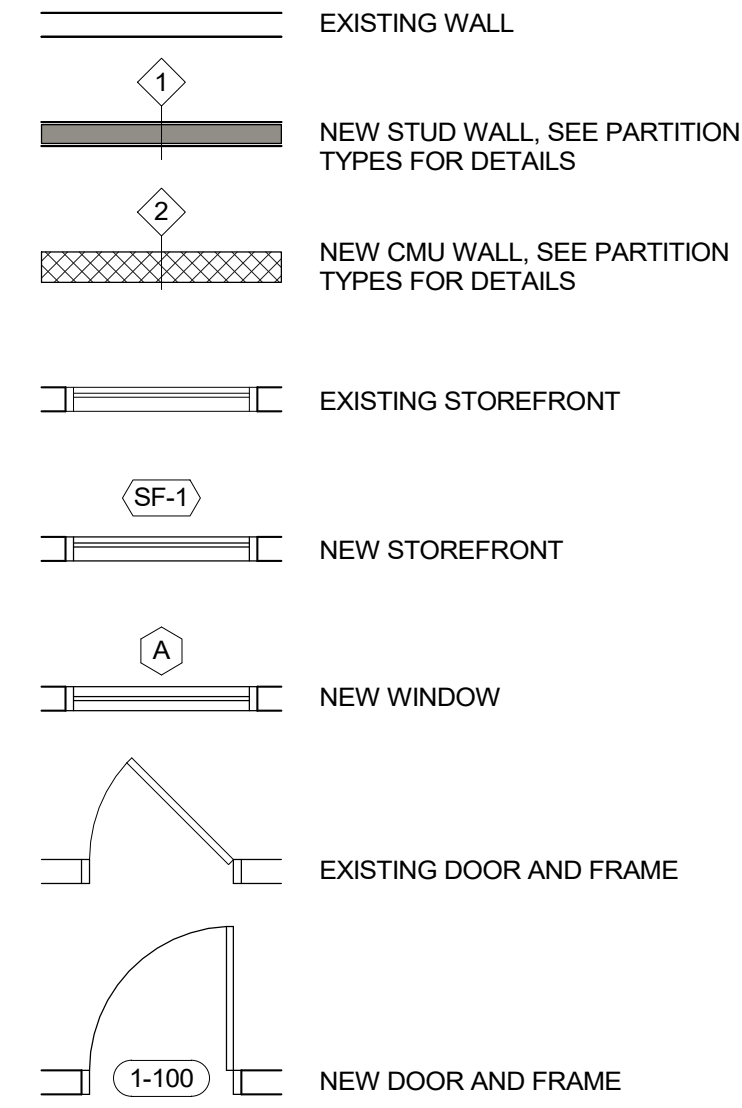


1 PARTIAL PLAN - ELEVATOR LOWER LEVEL
SCALE: 1/4" = 1'-0"



3 PARTIAL PLAN - ELEVATOR SECOND FLOOR
SCALE: 1/4" = 1'-0"

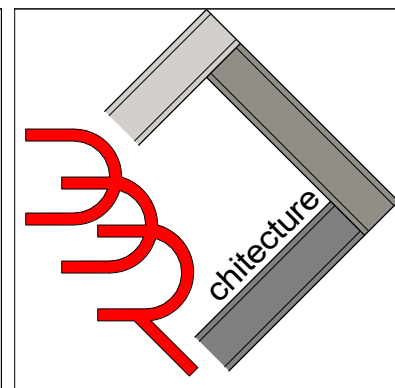
PROPOSED LEGEND:



TYPICAL NEW CONSTRUCTION NOTES:

- DIMENSIONS NOTED "CLR" (CLEAR) ARE NOT ADJUSTABLE WITHOUT APPROVAL FROM THE ARCHITECT.
- IF CONFLICTS OCCUR BETWEEN DRAWING AND EXISTING FIELD CONDITIONS, THE GENERAL CONTRACTOR SHALL IMMEDIATELY CONTACT THE ARCHITECT FOR DIRECTION.
- CONTRACTOR SHALL PROVIDE BLOCKING FOR BUILT-IN AND WALL MOUNTED ITEMS AS REQUIRED.
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
- CONTRACTOR TO PROPERLY PROTECT ANY AND ALL EXISTING AREAS TO REMAIN. REPAIRING ANY AND ALL DAMAGE TO EXISTING FINISHED SPACES DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PATCH AND FINISH EXISTING AREAS DISTURBED BY CONSTRUCTION OF NEW ARCHITECTURAL, STRUCTURAL, ELECTRICAL, AND MECHANICAL WORK. RESTORE AND REPAIR TO MATCH EXISTING ADJACENT AREA IN MATERIAL AND FINISH.
- ALL EXISTING AND / OR NEW PIPE AND CONDUIT PENETRATIONS THROUGH ANY FIRE RATED ASSEMBLIES SHALL BE FIRESTOPPED WITH TESTED UL RATED THROUGH PENETRATION FIRE STOP SYSTEMS BEARING THE REQUIRED RATINGS.
- ANY EXISTING AND / OR NEW DUCTWORK PENETRATIONS THROUGH ANY FIRE RATED ASSEMBLIES SHALL INCLUDE A FIRE DAMPER, WHETHER SPECIFICALLY CALLED OUT IN THE DRAWINGS OR NOT.

GENERAL NOTES - PROPOSED
SCALE: 1/4" = 1'-0"



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LICENSE No.
15547
EXPIRATION DATE
10/27/2026



CHURCHILL HS - ELEV. REPLACEMENT
MONTGOMERY COUNTY PUBLIC SCHOOLS
11300 GAINSBOROUGH ROAD
POTOMAC, MARYLAND 20854

ISSUE

REV	DATE	DESCRIPTION
1	01/07/25	BID SET

PROJECT NO.: 2024-13.04
DATE: 01/07/25

SECTIONS

A501

ANY WORK COMPLETED ON THE EXISTING ROOF SHALL BE BY ONE OF THE MCPS APPROVED ROOFING CONTRACTORS AS LISTED BELOW.

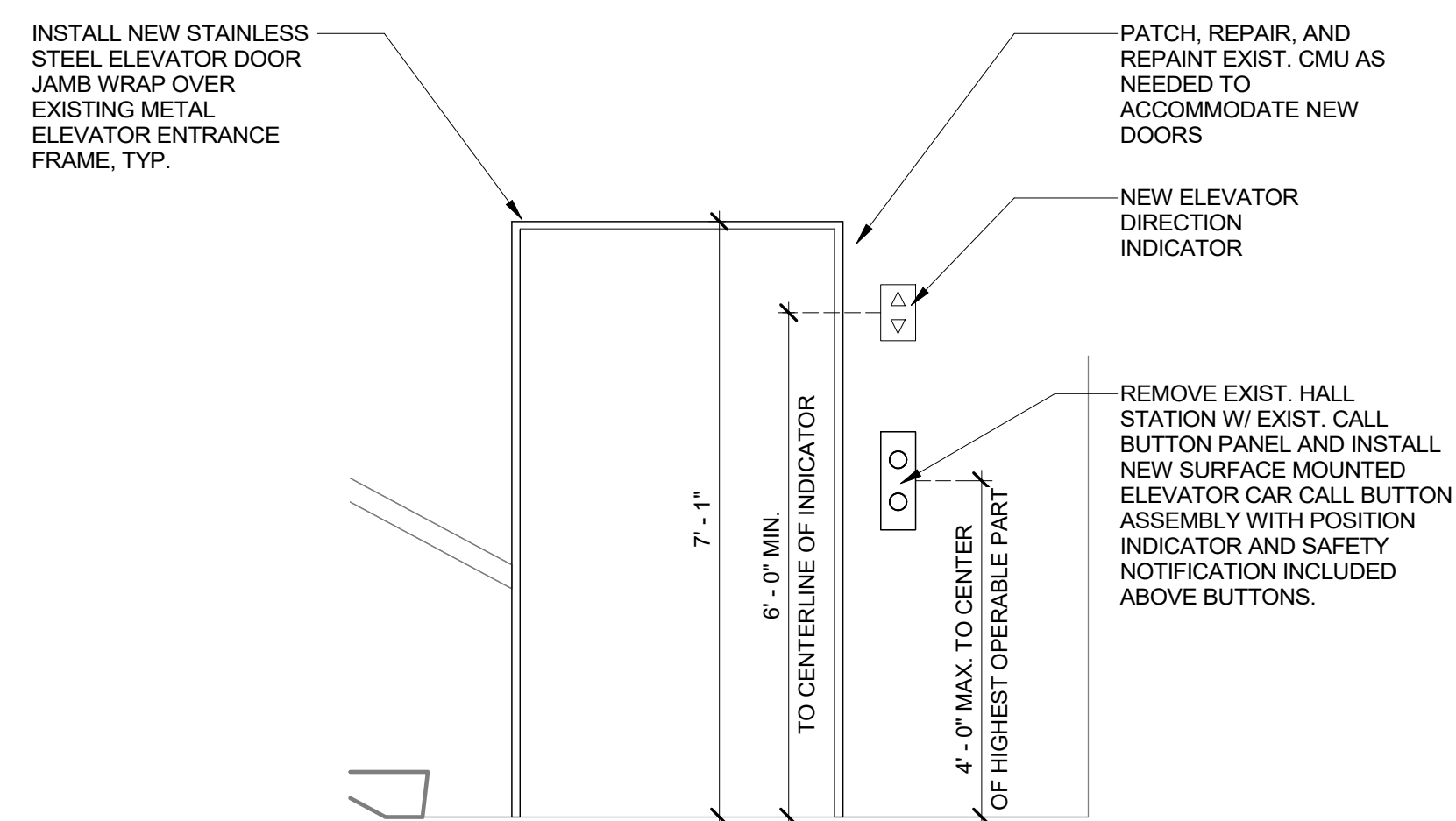
MCPS Approved Roofing Contractors Tier System

16-Nov-21

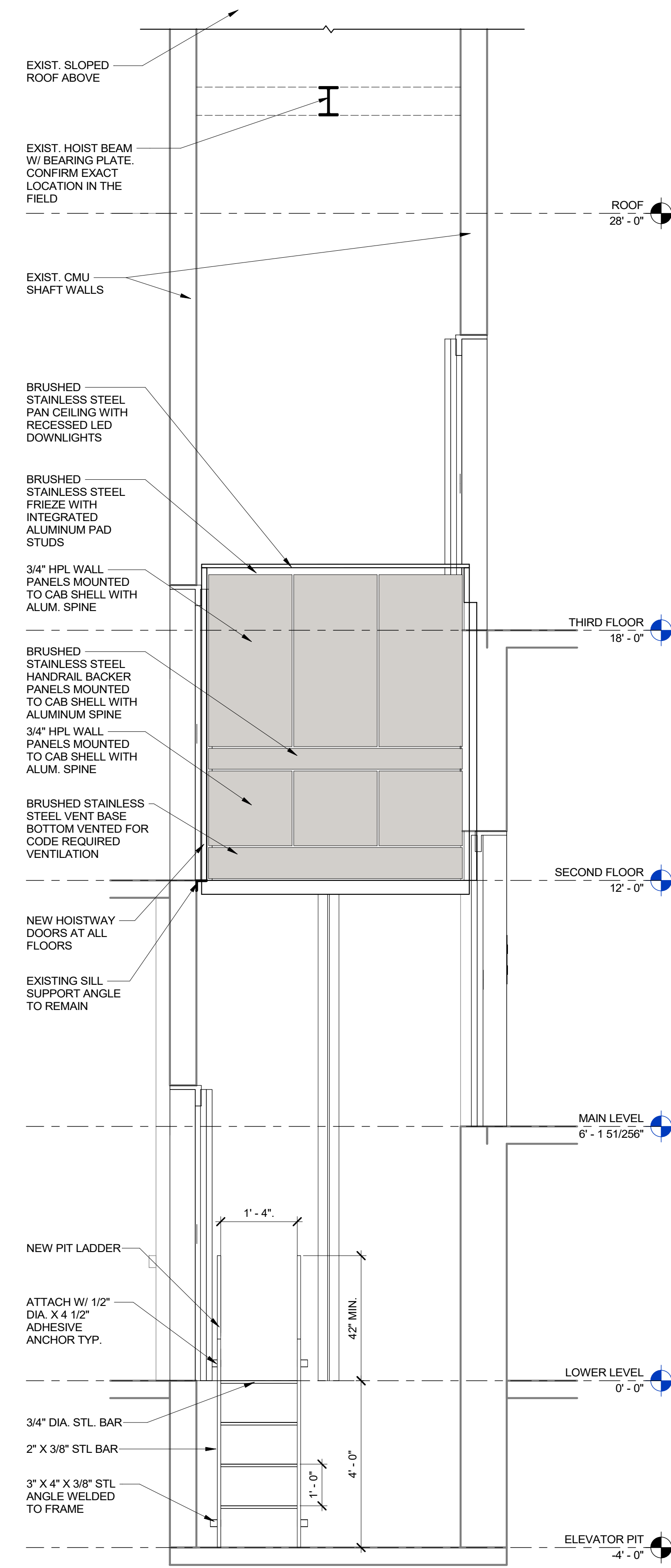
Tier	Description
Tier 1	Contractor has successfully demonstrated the ability to complete all types of roofs with no restriction in size or dollar limit. The contractor are eligible to bid on ALL MCPS' roofing projects.
Tier 2	Contractor will be limited to roofs of 100 squares (+/-) BUR and single ply until they demonstrate they have the manpower, equipment and the means to successfully complete them in the time allotted and to MCPS roofing standards. After successful completion of two or three roofing projects, the contractor will be re-evaluated to see if they qualify to be classified as a TIER 1 Roofing Contractor where they will be granted all rights do as a TIER 1 Roofing Contractor.

Contractor	Street Address	Contact Person	Email Addresses	Tier Level	Phone Number	Fax Number
Citi Roof Corporation	9510 Berger Road Columbia, Md. 21046	H. Lee Goldhammer	Lee@citrroof.com sales@citrroof.com	1	410-381-3100	410-381-8835
Cole Roofing Co., Inc.	3915 Coolidge Avenue Baltimore, Md. 21229	Billy Cole	Dennis@coleroofing.com Billy@coleroofing.com mailbox@coleroofing.com	1	410-242-0600	410-242-8007
Function Enterprises, Inc.	7954 Cameron Brown Court Springfield, VA 22153	Ryland T. Gray	ryland@function.net	1	703-569-2422	703-569-9661
Interstate Corporation	8040 Queenair Drive Gaithersburg, Md. 20879	Perry Cho	perry@icroof.com	1	301-738-7111	301-762-7355
Kalkreuth Roofing & Sheet Metal	9001 Baltimore Road Frederick, Md. 21704	Andrew Vanlandingham	avanlandingham@krsm.net	1	301-698-0717	301-695-0884
Orndorff & Spaid, Inc	11722 Old Baltimore Pike Beltsville, Md. 20705	Dave Porterfield	estimating@osroofing.com John@osroofing.com	1	301-937-5911	301-937-0310
R. D. Bean, Inc	5105-13 Powder Mill Road Beltsville, Md. 20705	Rick Drew	rick@rdbean.com	1	301-937-0260	301-937-0958
Rayco Roof Service, Inc.	6870 Wellington Road, Manassas, Va. 20109	Raymond Conley	jim.wright@raycoroofservice.com	1	703-335-5110	703-631-2274
Tecta America (Originally Roofers, Inc.) (New contact 2-5-14)	326 West 23rd Street Baltimore, Md. 21211	S Coyne	Scoyne@tectaamerica.com	1	1-800-772-8592	410-467-2439
Vatica Contracting, Inc. (Approved 11-29-10)	4350 Kenilworth Avenue Hyattsville, Md. 20781	S Kim	SKim@vaticainc.com kpsaromatis@vaticainc.com	1	301-927-8530	301-927-8760
North East Contracting	7220 Lockport Place Lorton Va 22079	Eion Kelley		2	703-370-8890	
Chu Contracting Inc.	14020 Thunderbolt Pl., Ste 300 Chantilly, Va. 20151	Jason Yu		2	703-378-8190	703-378-8191
Ruff Roofing and Sheet Metal Inc.	1420 Knecht Ave. Baltimore, Md. 21227	Timothy Ruff		2	410-242-2400	410-247-7171

NOTE: WHERE POSSIBLE NEW ELEVATOR CORRIDOR FIXTURES SHALL BE SIZED & INSTALLED TO FULLY COVER AREAS WHERE EXISTING FIXTURES AREA REMOVED. ALL NEW CORRIDOR FIXTURES & SIGNAGE SHALL COMPLY WITH APPLICABLE CODES AND SHALL BE ADA-COMPLIANT. NEW ADA-COMPLIANT ROOM SIGNAGE SHALL BE MOUNTED WITH BASELINE OF LOWEST TACTILE CHARACTER AT 48" MIN. A.F.F. & BASELINE OF HIGHEST TACTILE CHARACTER 60" MAX. A.F.F.



2 TYPICAL LOBBY ELEVATION
SCALE: 1/2" = 1'-0"



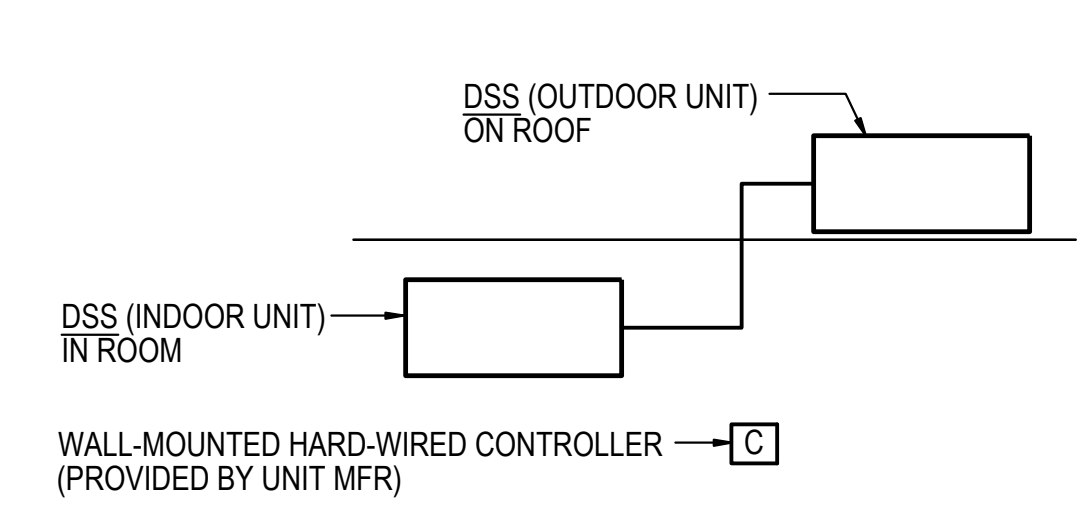
1 SECTION THROUGH ELEVATOR
SCALE: 1/2" = 1'-0"

DUCTLESS SPLIT SYSTEM SCHEDULE															
DESIG	AREA SERVED	INDOOR UNIT						OUTDOOR UNIT					MODEL NO.'S (MITSUBISHI)		NOTES
		TYPE	CFM	COOLING CAPACITY TOTAL (MBH)	MCA	MAX FUSE SIZE	VOLTAGE-PHASE	TOTAL CAPACITY (MBH)	MCA	MAX FUSE SIZE	VOLTAGE-PHASE	SEER	INDOOR	OUTDOOR	
DSS-1	ELEVATOR MACHINE ROOM	WALL	375	12.0	1	15	208V-1PH	12.0	11	15	208V-1PH	21.0	PKA-A12	PUY-A12	1,2,3,4,5,6,7

NOTES:

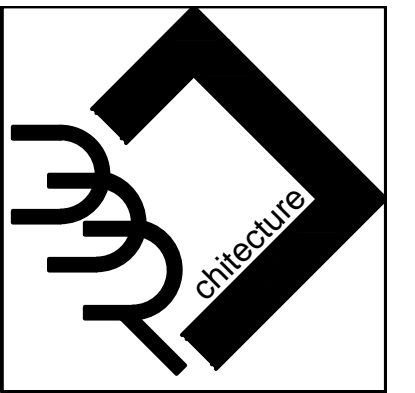
- INDOOR UNIT CAPACITY BASED ON 80°F DB/67°F WB INDOOR CONDITIONS AND 95°F DB/75°F WB OUTDOOR CONDITIONS.
- PROVIDE HARD-WIRED, WALL-MOUNTED CONTROLLER.
- PROVIDE LOW AMBIENT COOLING OPERATION DOWN TO 0°F.
- MANUFACTURER SHALL VERIFY LENGTH OF REFRIGERANT PIPING AND CONFIRM PROPER PERFORMANCE.
- ELECTRICAL POWER CONNECTIONS FOR THE BASIS OF DESIGN MANUFACTURER REQUIRE THE INDOOR UNIT TO BE WIRED THROUGH THE OUTDOOR UNIT. OTHER MANUFACTURERS MAY REQUIRE SEPARATE POWER CONNECTIONS, WHICH SHALL BE PROVIDED AS REQUIRED.
- PROVIDE WALL-MOUNTED CONDENSATE PUMP EQUAL TO "LITTLE GIANT" MODEL VCMA-20-PRO, 1/30 HP, 120V-1PHASE, 48 GPH @ 10FT/HD. MOUNT ON WALL ADJACENT TO INDOOR UNIT.
- PROVIDE HAIL GUARD/WIND BAFFLE FOR OUTDOOR UNIT.

MECHANICAL SYMBOLS AND ABBREVIATIONS														
GENERAL										DUCTWORK AND ACCESSORIES				
SYMBOL	ABBR.	TYPE OF PIPE			SYMBOL	ABBR.	ITEM							
	--	DETAIL OR DIAGRAM NO. 3 SHOWN ON DRAWING NO. 9				--	DUCT (SIZE IN INCHES, FIRST FIGURE SIDE SHOWN)							
	--	POINT OF CONNECTION, NEW TO EXISTING				--	SUPPLY OR OUTDOOR AIR DUCT SECTION							
	--	DEMOLITION WORK TERMINATION POINT				--	RETURN OR EXHAUST AIR DUCT SECTION							
	--	SYMBOL FOR SPECIFIC NOTE. NOTE APPLIES TO DRAWING ON WHICH IT OCCURS.				--	AIR DEVICE WITH 2x2' LAY-IN PANEL							
ø		INDICATES DIAMETER				--	INCLINED DROP IN DIRECTION OF ARROW							
ABV		ABOVE				--	INCLINED RISE IN DIRECTION OF ARROW							
AFF		ABOVE FINISHED FLOOR			EA		EXHAUST AIR							
APD		AIR PRESSURE DROP			ER		EXHAUST REGISTER							
ASSOC		ASSOCIATED			EXH		EXHAUST							
BLDG		BUILDING			TA		TRANSFER AIR							
BLW		BELOW			TG		TRANSFER GRILLE							
BTM		BOTTOM			PIPE FITTINGS AND VALVES									
BTUH		BRITISH THERMAL UNITS PER HOUR			SYMBOL	ABBR.	ITEM							
CFM		CUBIC FEET PER MINUTE				--	PIPE CAP OR PLUG							
CLG		CEILING			FIRE									
CONC		CONCRETE			SYMBOL	ABBR.	ITEM							
CONN		CONNECT, CONNECTION				S	SPRINKLER SUPPLY PIPE							
CONTN		CONTINUATION				--	SPRINKLER HEAD							
DB		DRY BULB			PLUMBING									
DESG		DESIGNATION			SYMBOL	ABBR.	ITEM							
DIA		DIAMETER				SAN	SOIL, WASTE, OR SANITARY PIPE							
DWG		DRAWING				CD	CONDENSATE DRAIN PIPE							
EAT		ENTERING AIR TEMPERATURE				VP	VENT PIPE							
EDB		ENTERING DRY BULB			ELECTRICAL									
ELEV		ELEVATION OR ELEVATOR			SYMBOL	ABBR.	ITEM							
ESP		EXTERNAL STATIC PRESSURE			ELEC		ELECTRIC							
ETR		EXISTING TO REMAIN			FLA		FULL LOAD AMPERES							
EX		EXISTING			HP		HORSEPOWER							
F		FAHRENHEIT			LRA		LOCKED ROTOR AMPERES							
FL		FLOOR			MCA		MINIMUM CIRCUIT AMPACITY							
FPS		FEET PER SECOND			MOP		MAXIMUM OVERCURRENT PROTECTION							
FT		FEET			RLA		RUNNING LOAD AMPERES							
FT HD		FEET OF HEAD			EQUIPMENT									
GALV		GALVANIZED			SYMBOL	ABBR.	ITEM							
IN		INCH, INCHES			DSS		DUCTLESS SPLIT SYSTEM							
LAT		LEAVING AIR TEMPERATURE			EF		EXHAUST FAN							
LB(S)		POUND(S)			REFRIGERANT									
LDB		LEAVING DRY BULB			SYMBOL	ABBR.	ITEM							
LF		LINEAR FEET			RL		REFRIGERANT LIQUID							
LWB		LEAVING WET BULB			RS		REFRIGERANT SUCTION							
MAX		MAXIMUM			SST		SATURATED SUCTION TEMPERATURE							
MBH		THOUSAND BTU'S PER HOUR			VRF		VARIABLE REFRIGERANT FLOW							
MECH		MECHANICAL			ATC SYMBOLS AND ABBREVIATIONS									
MFR		MANUFACTURER					WALL-MOUNTED HARD-WIRED DSS CONTROLLER							
MIN		MINIMUM			DSS		DUCTLESS SPLIT SYSTEM							
MTD		MOUNTED												
NIC		NOT IN CONTRACT												
REQ'D		REQUIRED												
RX		REMOVE EXISTING												
SPEC		SPECIFICATION												
TEMP		TEMPERATURE												
TYP		TYPICAL												
UON		UNLESS OTHERWISE NOTED												
W/		WITH												
W/O		WITHOUT												



DUCTLESS SPLIT SYSTEM UNITS (DSS)

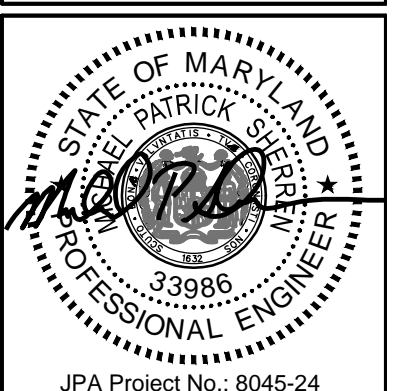
THE DUCTLESS SPLIT AIR CONDITIONING SYSTEMS ARE TO BE SUPPLIED WITH ALL NECESSARY CONTROLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND WIRING ALL CONTROL EQUIPMENT SUPPLIED WITH SYSTEM. CONTRACTOR SHALL ALSO PROVIDE ANY SWITCHES AND RELAYS TO ACCOMPLISH THE MANUFACTURER'S PACKAGED CONTROL SEQUENCE.



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1115 Red Run Boulevard, Suite 310
Baltimore, Maryland 21117
tel 410-265-6100
jamesposey.com

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LICENSE No. 33986
EXPIRATION DATE: 01-16-2027



JPA Project No.: 8045-24

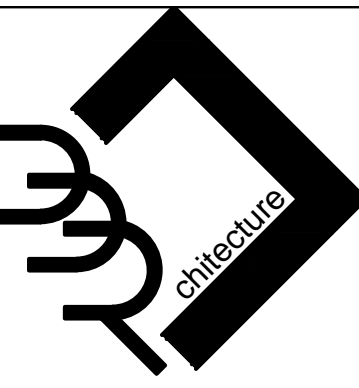
CHURCHILL HS - ELEV. REPLACEMENT
MONTGOMERY COUNTY PUBLIC SCHOOLS
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POTOMAC, MARYLAND 20854

ISSUE		
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SYMBOLS, ABBREVIATIONS, SCHEDULES AND CONTROLS

M001



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DROSAN@DROSANARCHITECTURE.COM



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Associates
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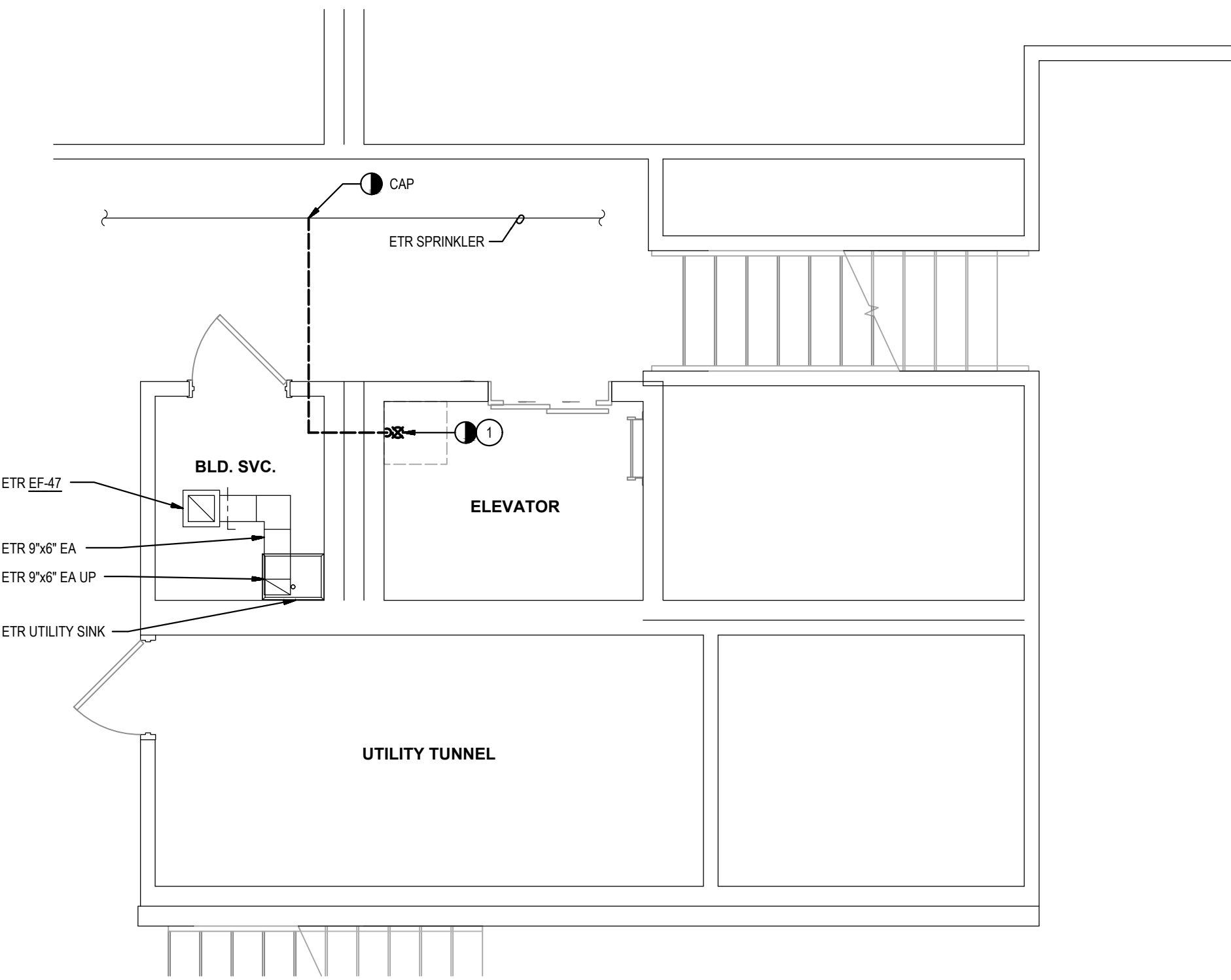
PROJECT NO.: 2024-13.04
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PART ELEVATOR
FLOOR PLANS -
MECHANICAL -
DEMOLITION

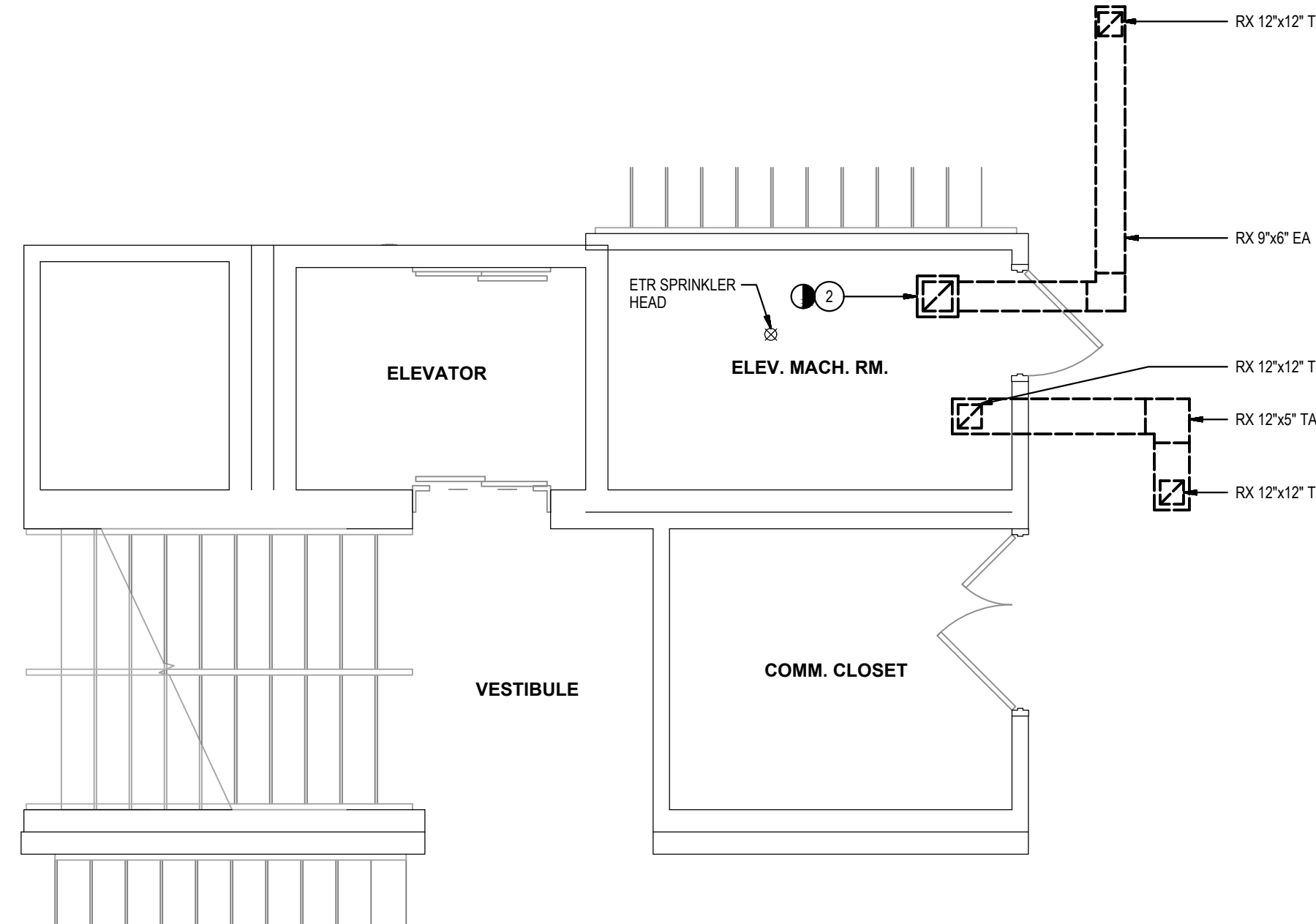
MD101

- GENERAL NOTES:**
- A. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE EXISTING CONDITIONS IN DETAIL OR DIMENSION. DETERMINE EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING AND AWAIT DIRECTION BEFORE PROCEEDING WITH THE WORK.
 - B. DEMOLITION SHALL INCLUDE REMOVAL AND OFF-SITE DISPOSAL OF MATERIALS. DO NOT ABANDON IN PLACE ANY MECHANICAL AND RELATED ELECTRICAL COMPONENTS UNLESS OTHERWISE NOTED ON DRAWINGS.
 - C. UNLESS OTHERWISE NOTED, MECHANICAL/PLUMBING ITEMS SHOWN HEAVY DASHED (——) SHALL BE REMOVED AND MECHANICAL/PLUMBING ITEMS SHOWN LIGHT SOLID (——) SHALL REMAIN.

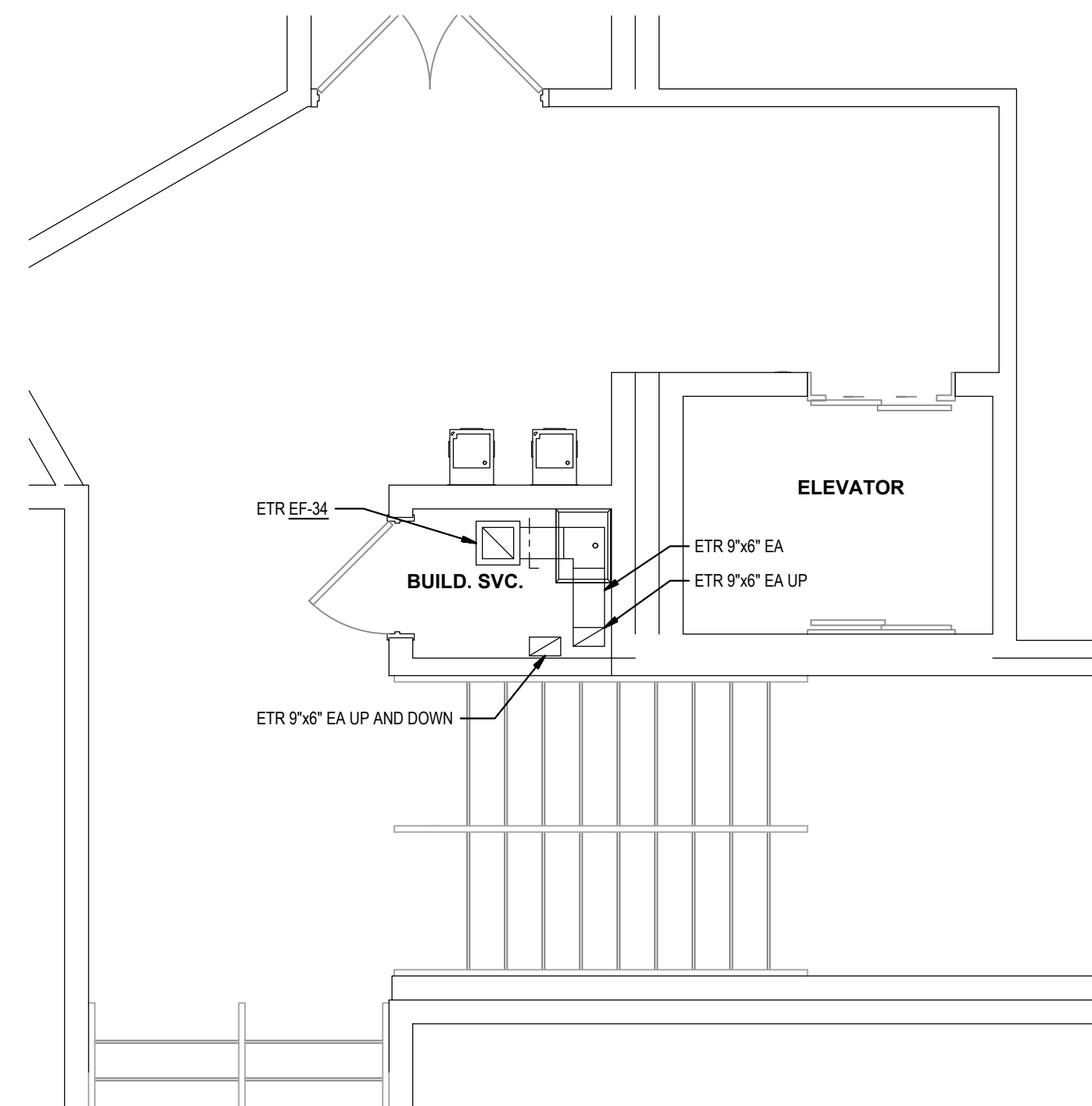
- SPECIFIC NOTES:**
- 1. RX SPRINKLER HEAD AND ASSOCIATED SPRINKLER PIPING IN ELEVATOR SHAFT, CAP PIPING AT MAIN ABOVE CEILING.
 - 2. RX EF-23 AND ASSOCIATED DUCTWORK, CONTROLS, SUPPORTS AND APPURTENANCES.



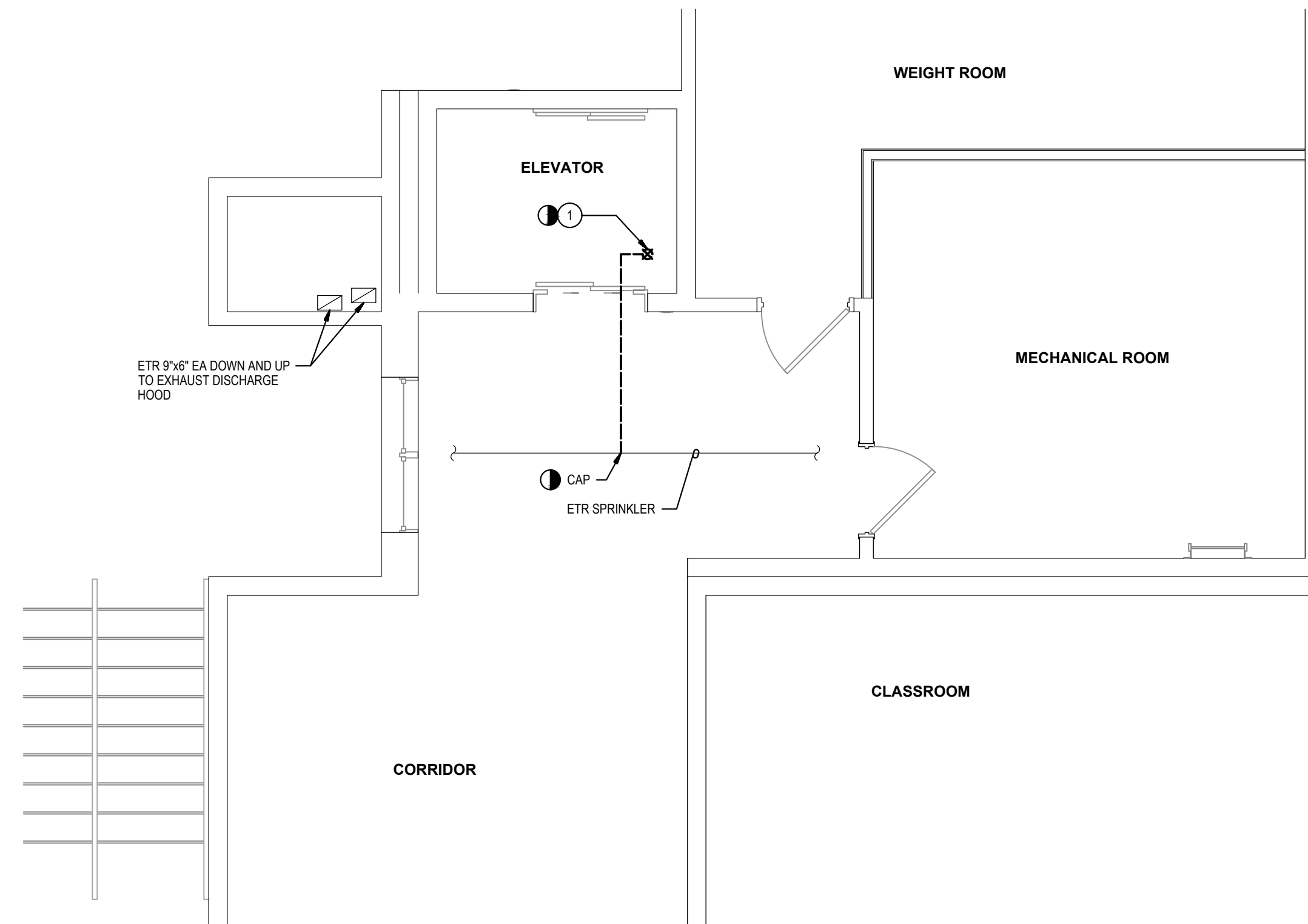
1 **PART PLAN - LOWER LEVEL**
MD101 **MECHANICAL - DEMOLITION**
SCALE: 1/4"=1'-0"



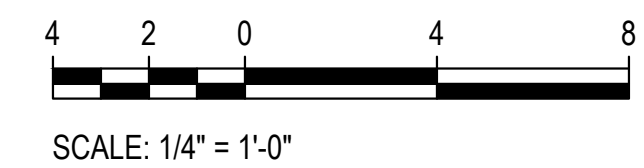
2 **PART PLAN - MAIN LEVEL**
MD101 **MECHANICAL - DEMOLITION**
SCALE: 1/4"=1'-0"

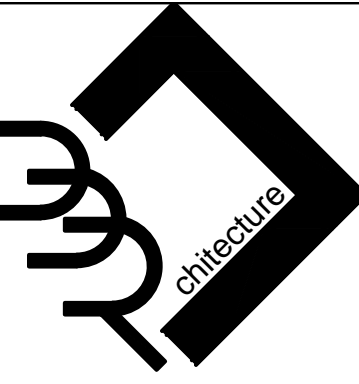


3 **PART PLAN - 2ND FLOOR**
MD101 **MECHANICAL - DEMOLITION**
SCALE: 1/4"=1'-0"



4 **PART PLAN - 3RD FLOOR**
MD101 **MECHANICAL - DEMOLITION**
SCALE: 1/4"=1'-0"

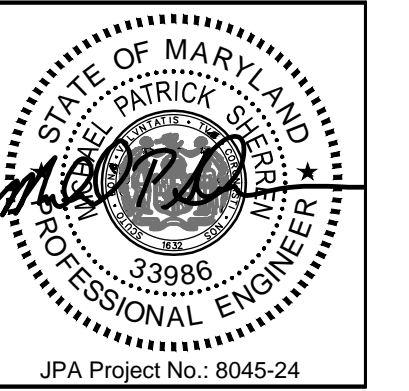




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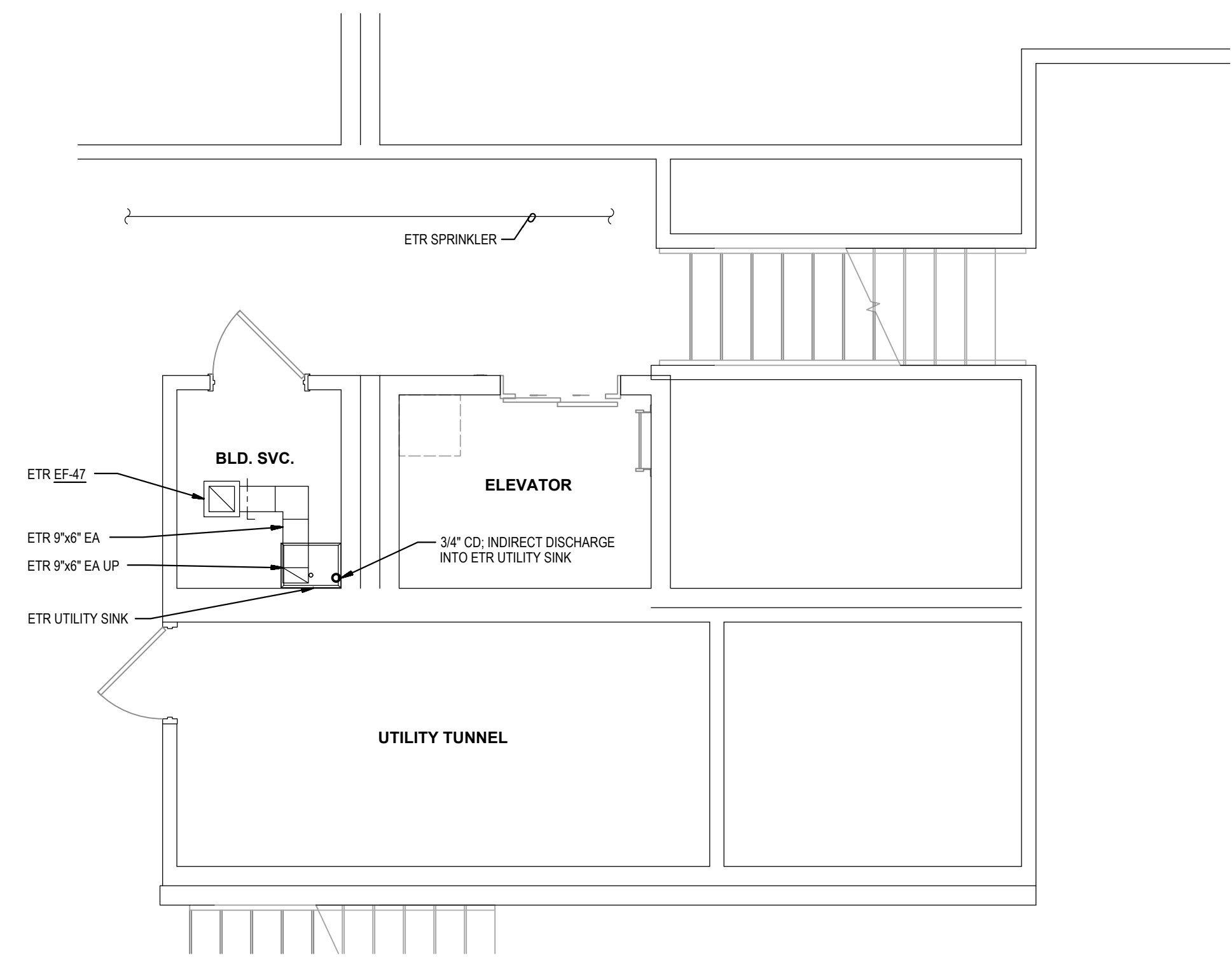
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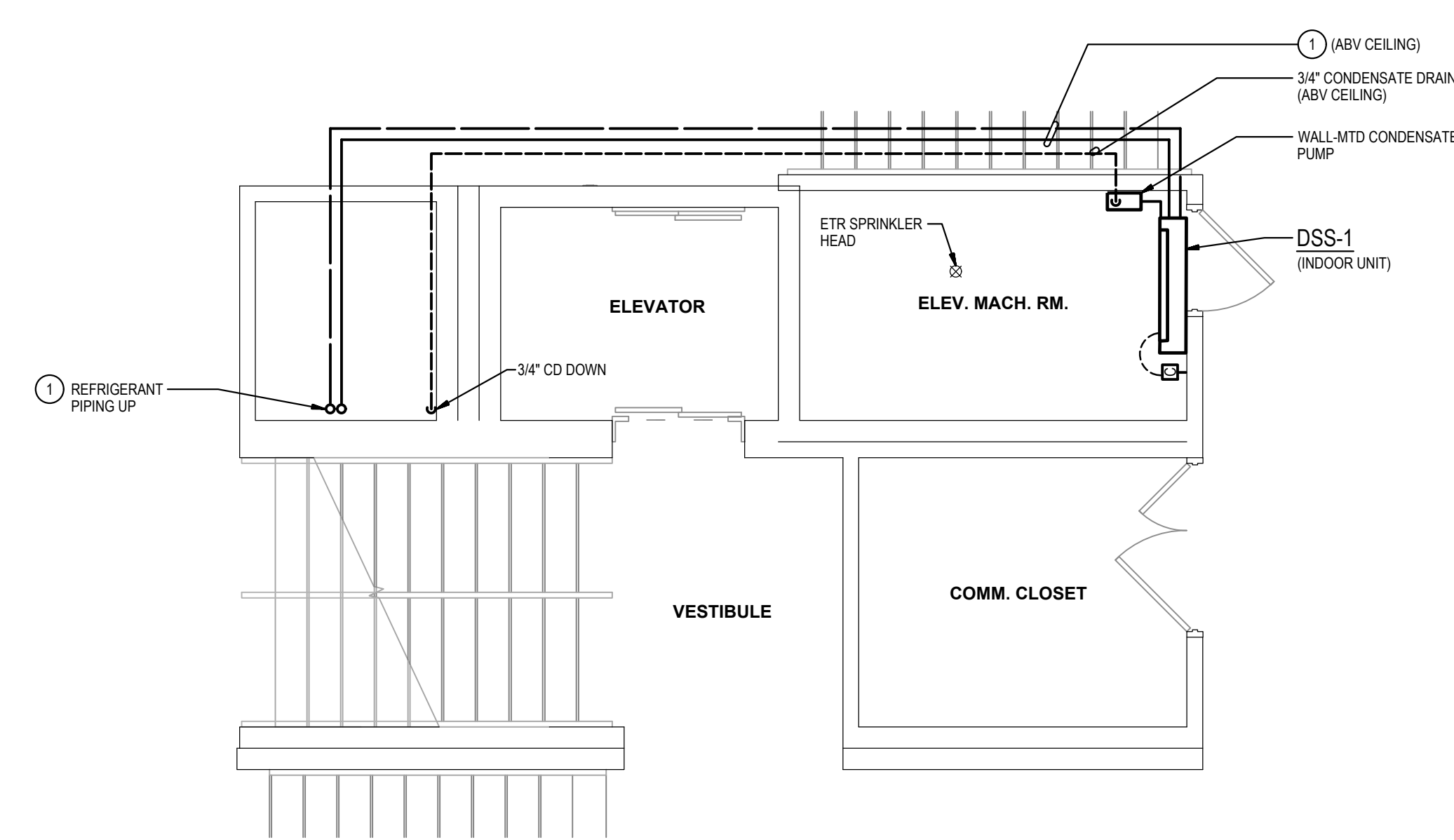
PART ELEVATOR FLOOR PLANS - MECHANICAL - NEW WORK

M101

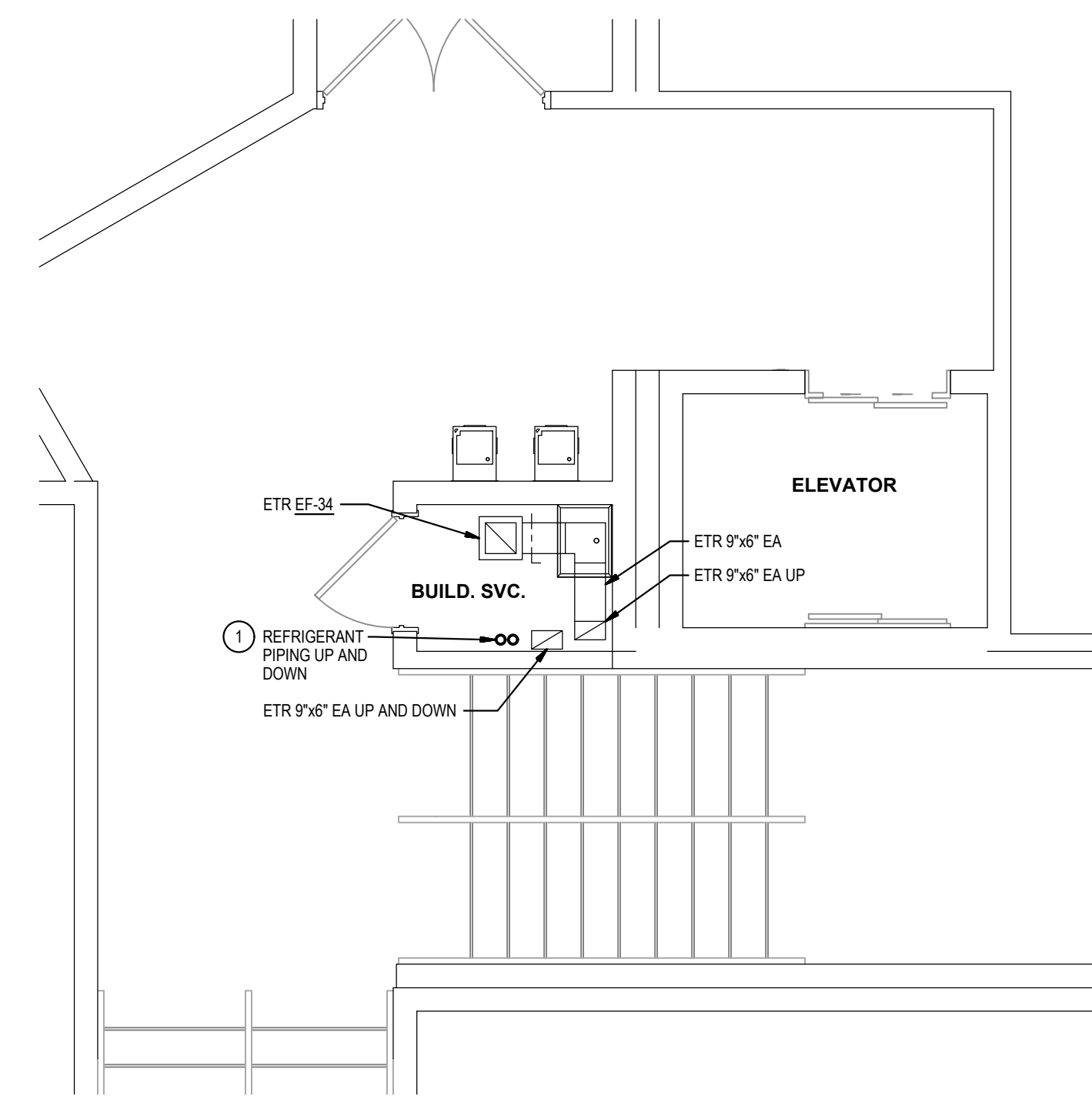
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 - B. DO NOT LOCATE DUCTWORK OR PIPING ABOVE ELECTRICAL PANELS OR EQUIPMENT.
- SPECIFIC NOTES:**
- 1 REFRIGERANT PIPING (SIZE, QUANTITY, LENGTH AND ACCESSORIES PER MANUFACTURER'S RECOMMENDATIONS).
 - 2 REFRIGERANT PIPING UP TO OUTDOOR DSS ON ROOF ABOVE.



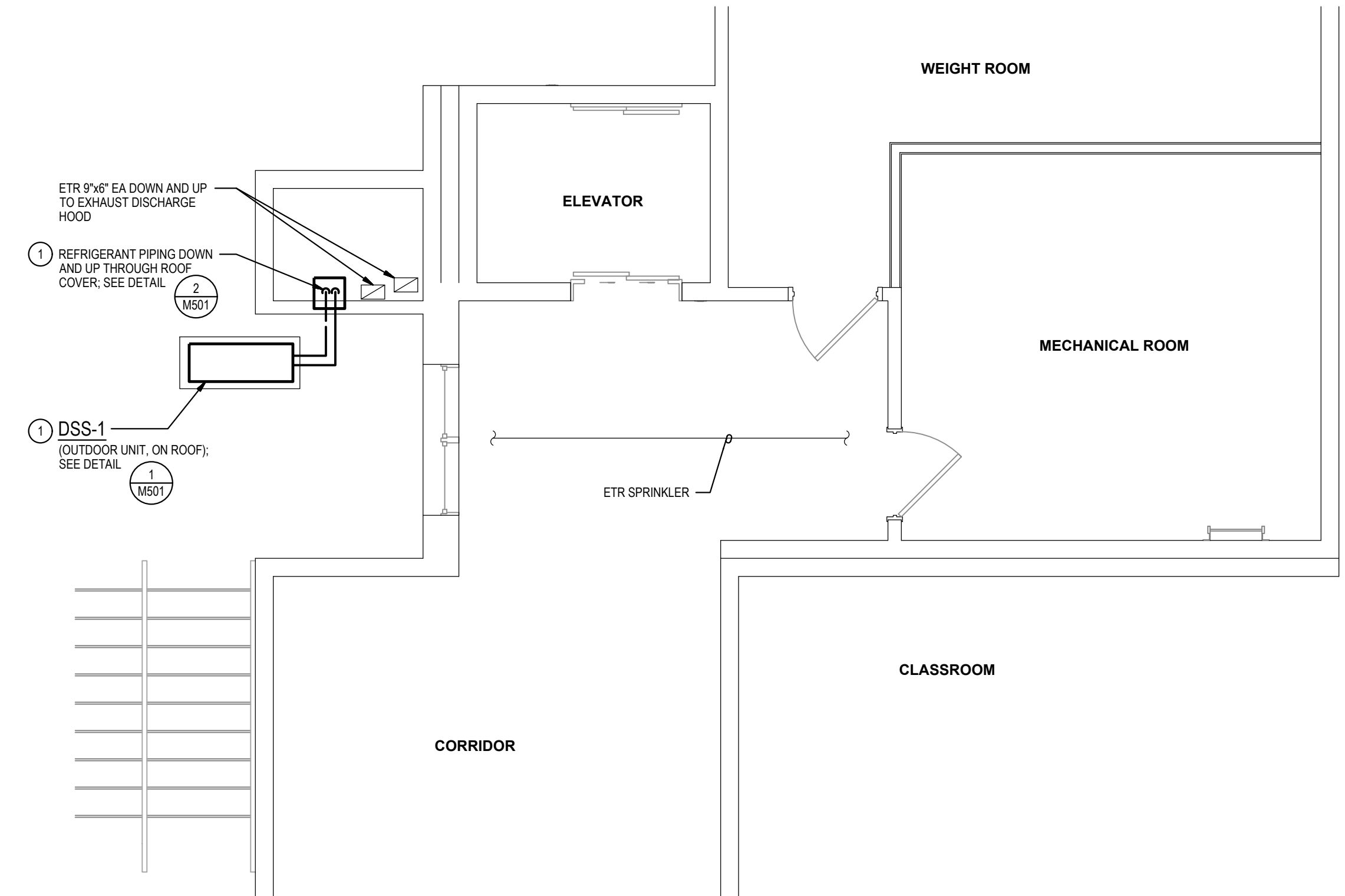
1 PART PLAN - LOWER LEVEL
MECHANICAL - NEW WORK
SCALE: 1/4"=1'-0"



2 PART PLAN - MAIN LEVEL
MECHANICAL - NEW WORK
SCALE: 1/4"=1'-0"



3 PART PLAN - 2ND LEVEL
MECHANICAL - NEW WORK
SCALE: 1/4"=1'-0"



4 PART PLAN - 3RD LEVEL
MECHANICAL - NEW WORK
SCALE: 1/4"=1'-0"

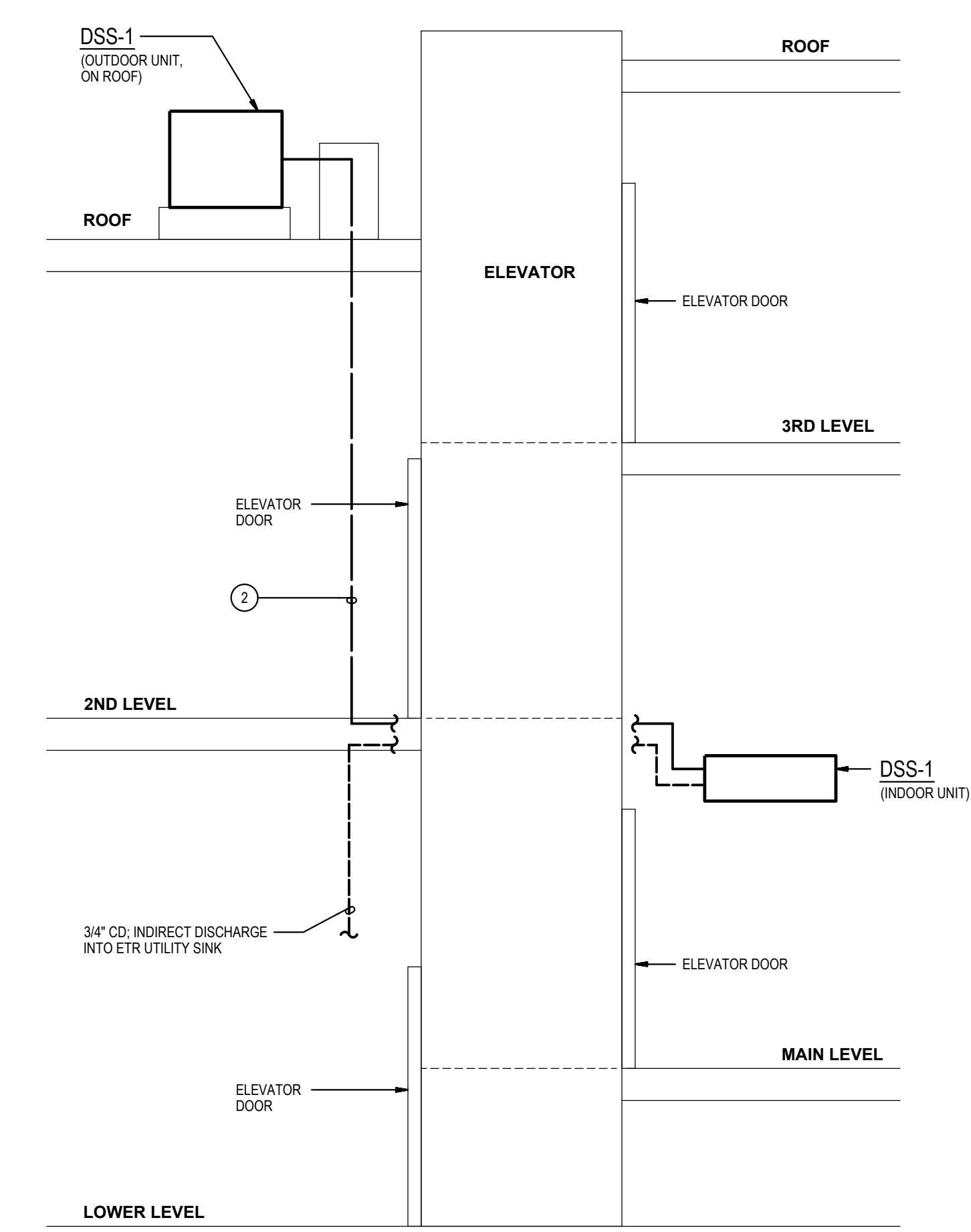
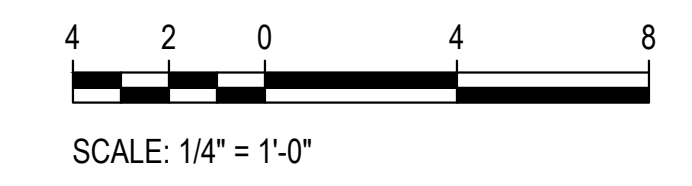
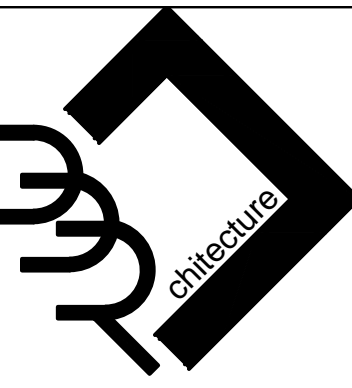


DIAGRAM A M101
DUCTLESS SPLIT SYSTEM PIPING RISER
NOT TO SCALE





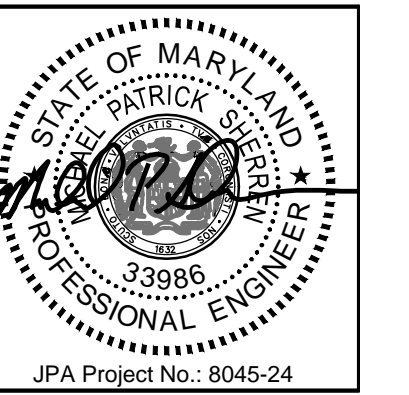
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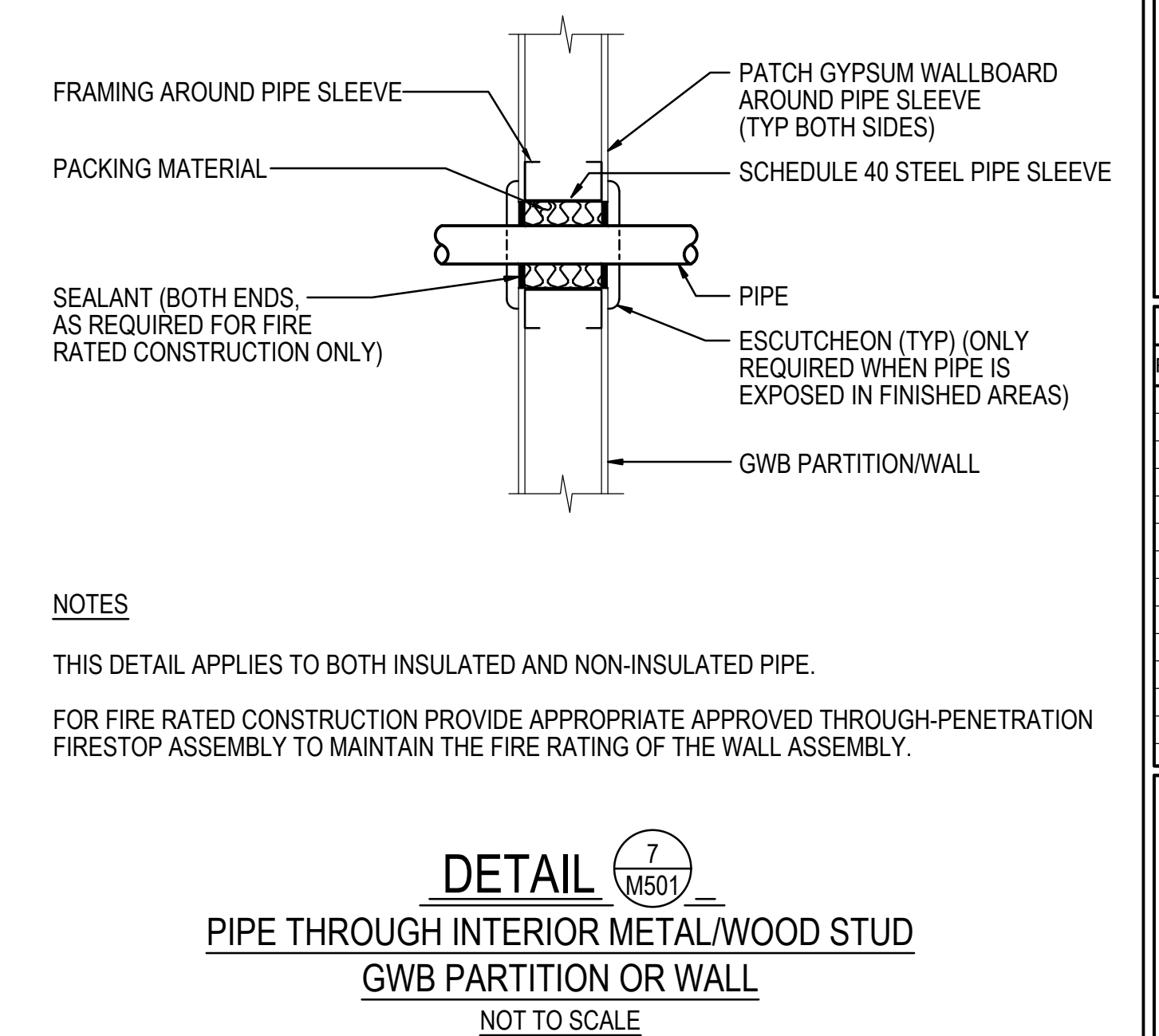
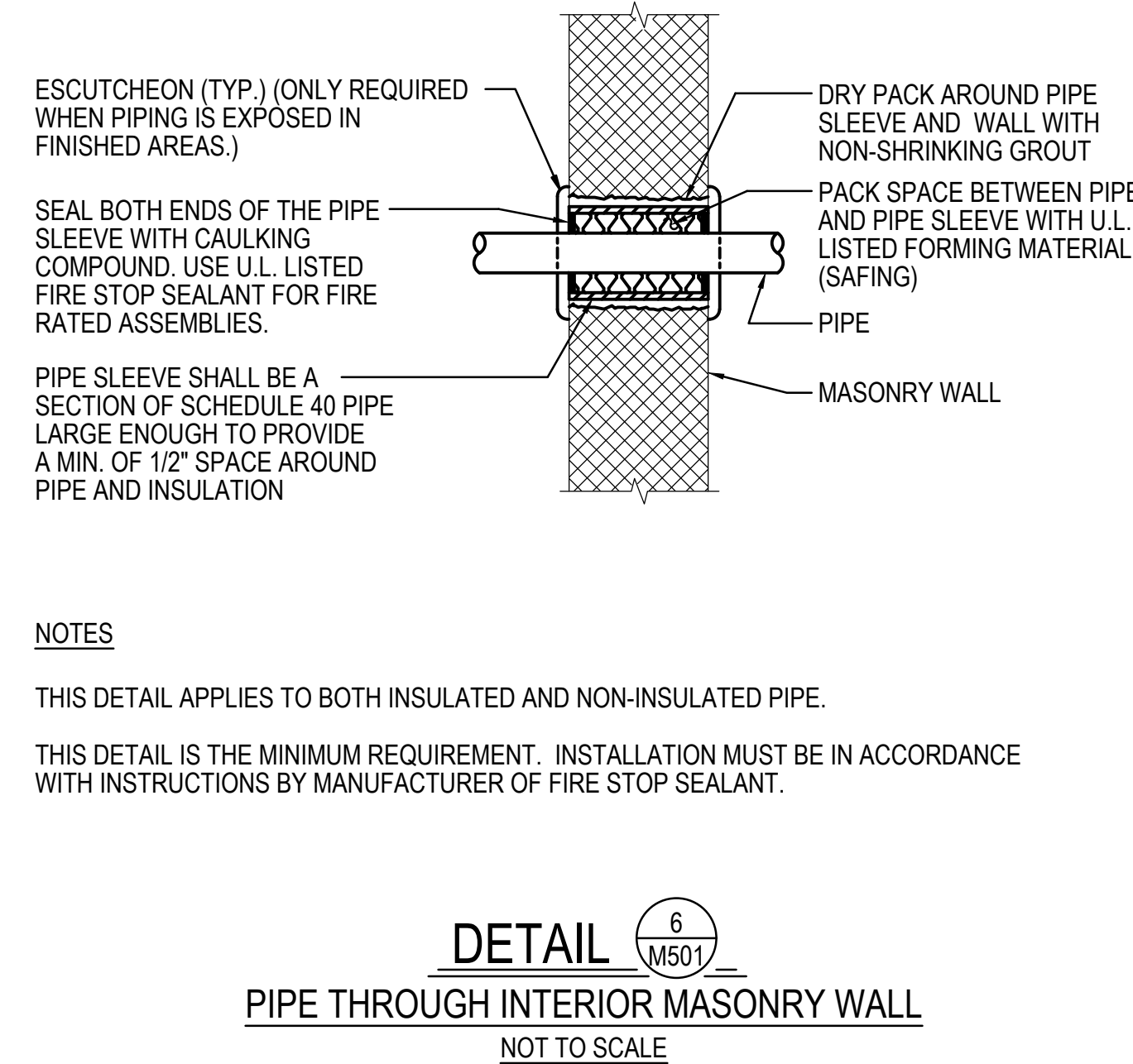
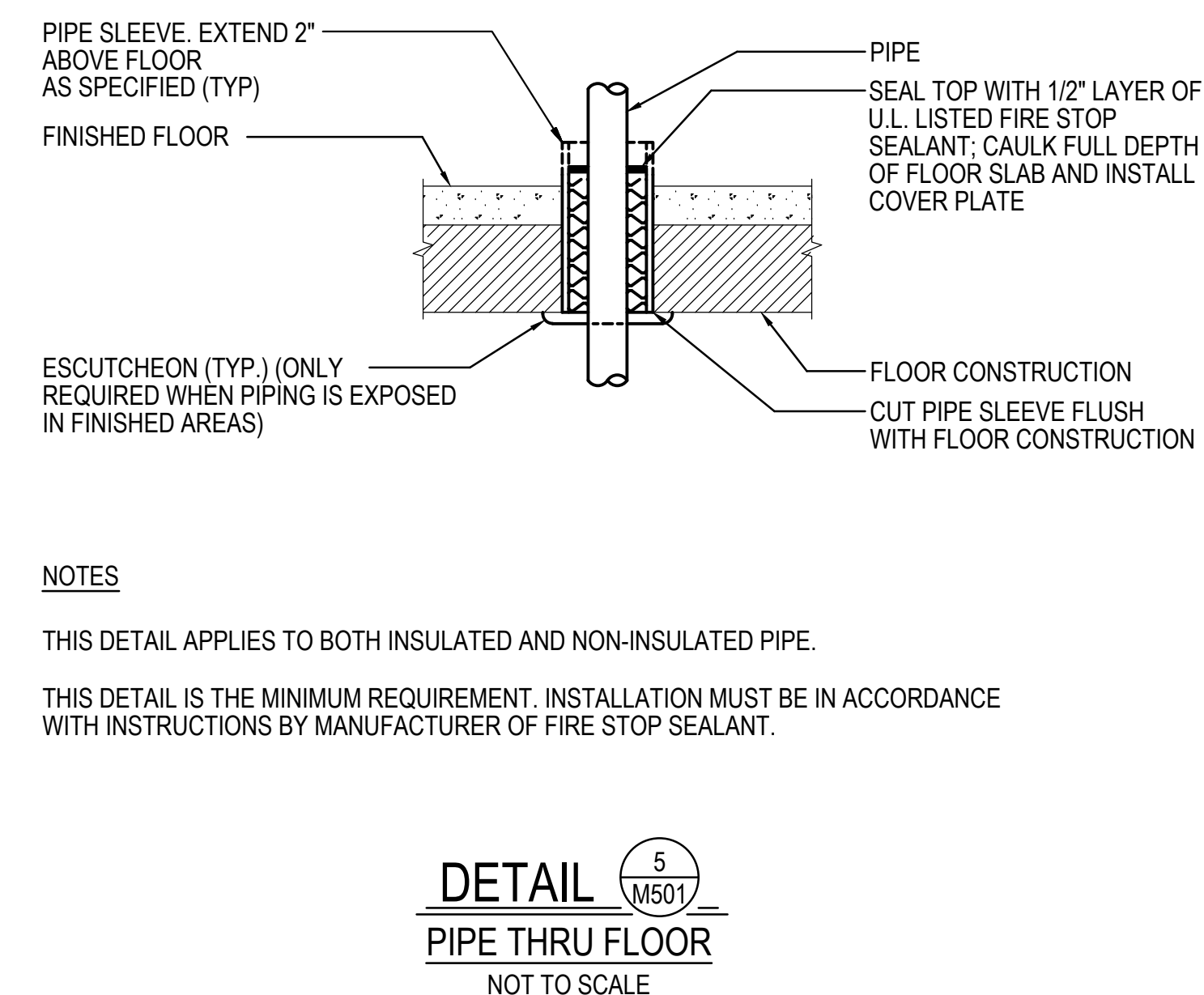
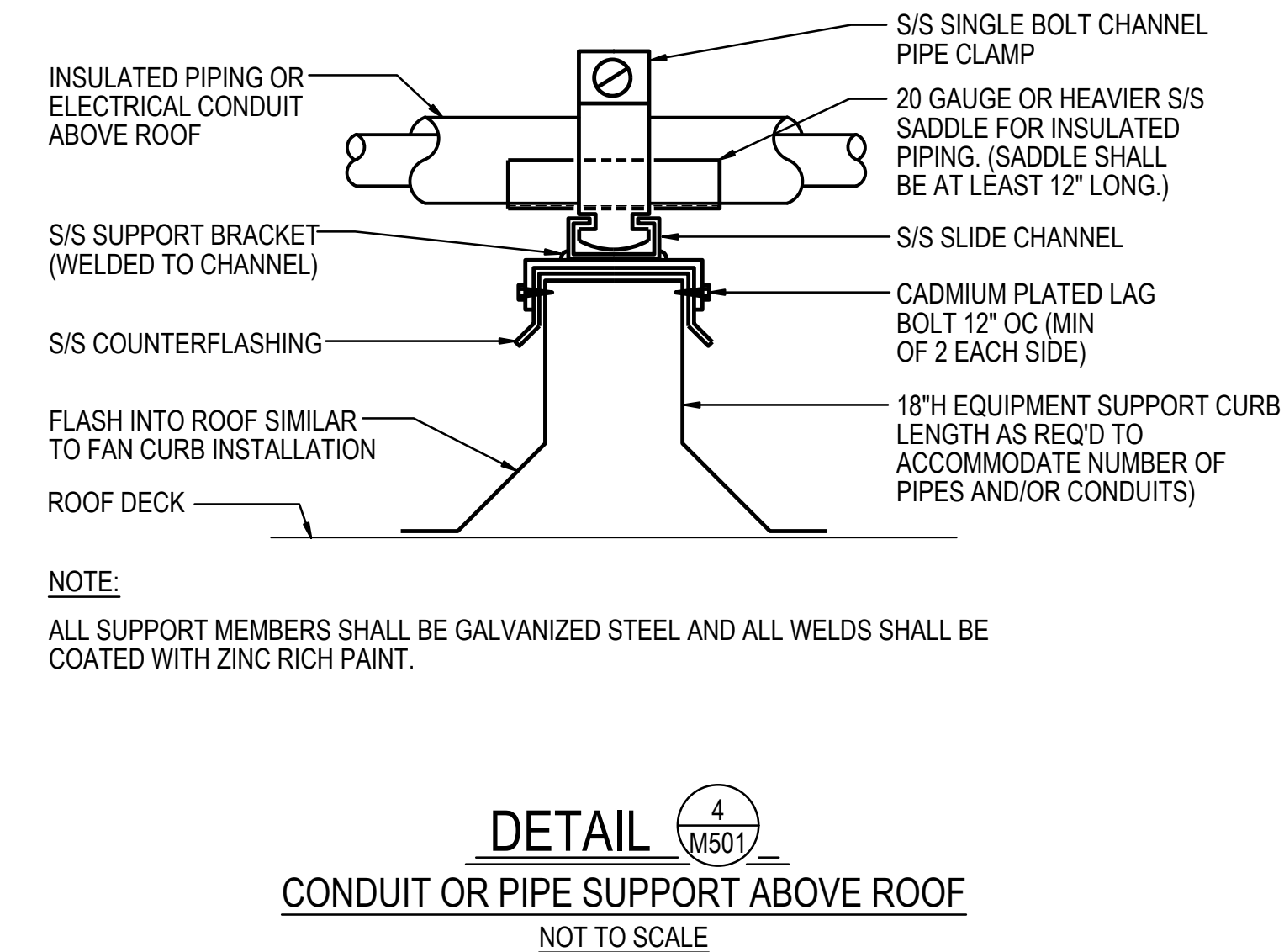
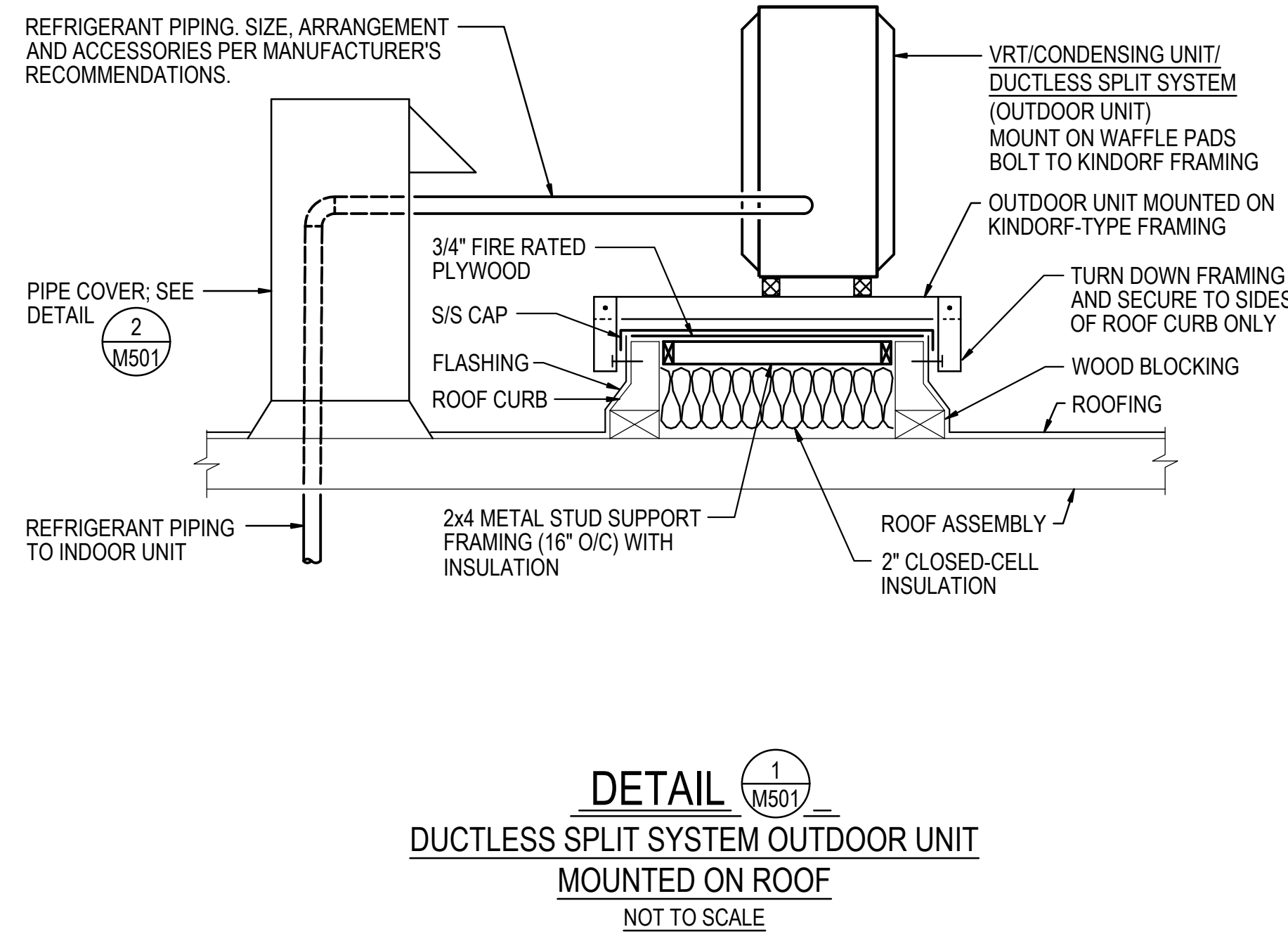
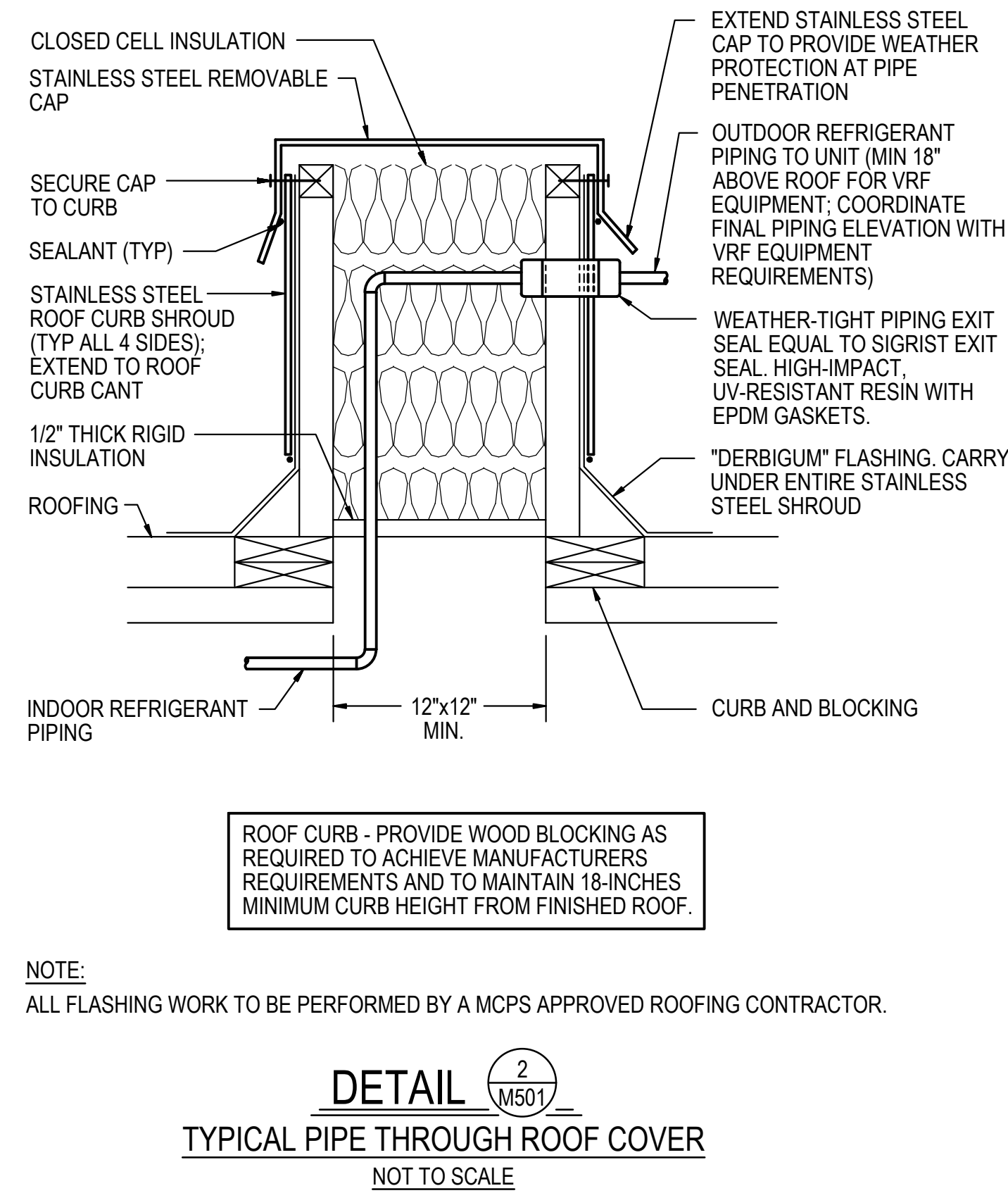
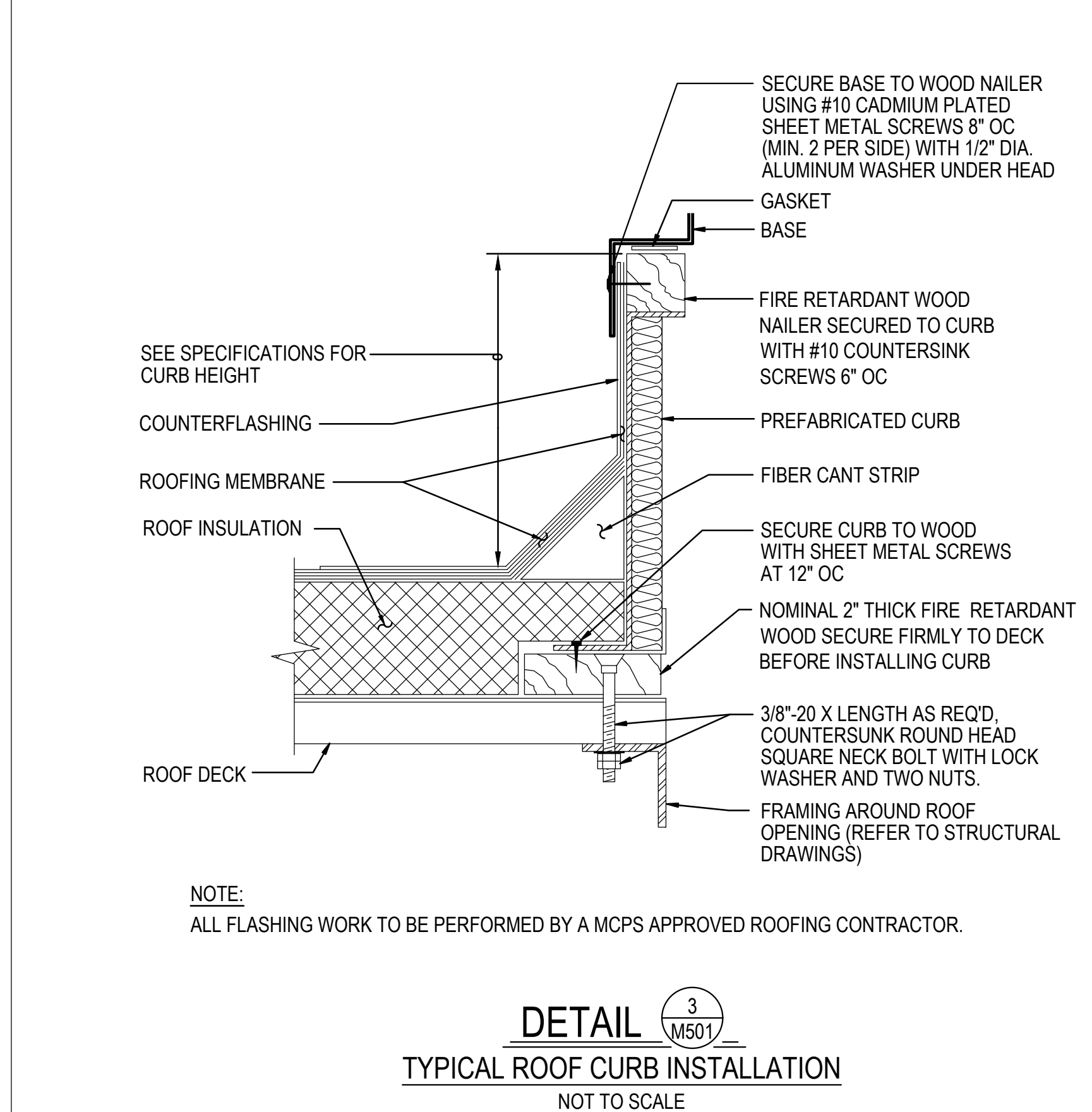
ISSUE

REV	DATE	DESCRIPTION
01/07/25	01/07/25	BID SET

PROJECT NO.: 2024-13.04
DATE: 01/07/2025

DETAILS AND DIAGRAMS

M501

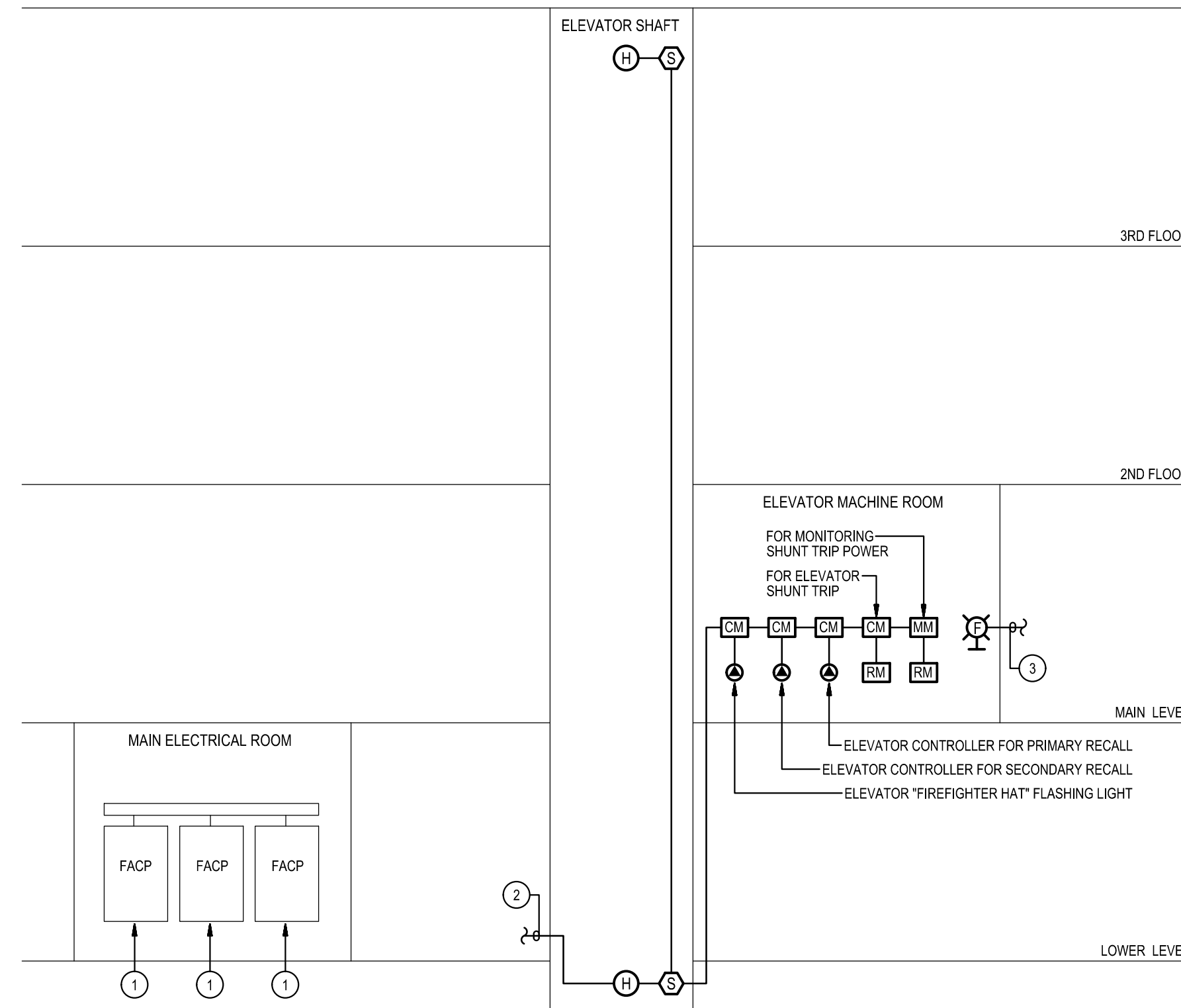


GENERAL NOTE (FIRE ALARM RISER DIAGRAM):

- A. FIRE ALARM DEVICES SHALL BE COMPATIBLE WITH EXISTING FIRE DETECTION AND ALARM SYSTEM.
- B. PROVIDE FIRE ALARM WIRING IN EMT CONDUIT IN ELEVATOR SHAFT, ELEVATOR MACHINE ROOM, AND UNFINISHED SPACES.
- C. PROVIDE FIRE ALARM MC CABLE ABOVE CONCEALED ACCESSIBLE CEILING SPACES.
- D. WIRING SHOWN IS DIAGRAMMATIC. PROVIDE WIRING AND CONNECTIONS AS RECOMMENDED BY FIRE ALARM SYSTEM MANUFACTURER.

SPECIFIC NOTES (FIRE ALARM RISER DIAGRAM):

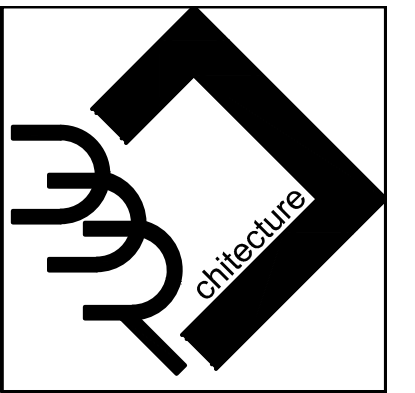
- ① EXISTING FIRE ALARM CONTROL PANEL IS BY SIMPL. EX. PROVIDE PROGRAMMING REQUIRED FOR FIRE DETECTION AND ALARM DEVICES INDICATED.
- ② CONNECT TO NEAREST EXISTING SIGNALING LINE CIRCUIT.
- ③ CONNECT TO NEAREST EXISTING NOTIFICATION APPLIANCE CIRCUIT.



1 PART RISER DIAGRAM
E001 FIRE DETECTION AND ALARM
NOT TO SCALE

ELECTRICAL SYMBOLS AND ABBREVIATIONS

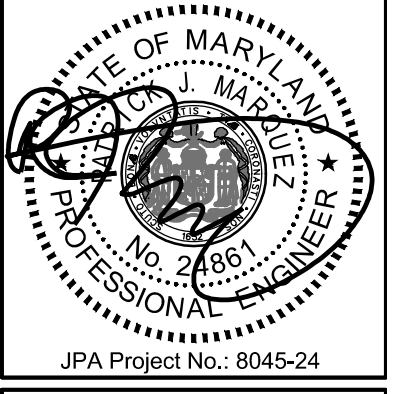
GENERAL	DEMOLITION
<p>① DENOTES REFERENCE TO SPECIFIC NOTE ON DRAWING.</p> <p>1 → DETAIL, DIAGRAM, OR PLAN NUMBER.</p> <p>E001 → DRAWING NUMBER WHERE DETAIL, DIAGRAM, OR PLAN IS LOCATED.</p> <p>1/E001 REFERENCE: DETAIL, DIAGRAM, OR PLAN NUMBER/DRAWING NUMBER.</p> <p>MECH → ROOM NAME</p> <p>182 → ROOM NUMBER</p>	<p> REMOVE EXISTING HOMERUN TO PANELBOARD, AS INDICATED.</p> <p> REMOVE EXISTING WIRING IN CONDUIT.</p> <p> REMOVE EXISTING 2' X 4' LIGHTING FIXTURE, RECESSED MOUNTED IN CEILING GRID. EXISTING LIGHTING CIRCUIT SHALL REMAIN AND BE REUSED.</p> <p> REMOVE EXISTING 1' X 4' LIGHTING FIXTURE, CEILING SUSPENDED. EXISTING LIGHTING CIRCUIT SHALL REMAIN AND BE REUSED.</p> <p> REMOVE EXISTING WALL MOUNTED LIGHTING FIXTURE IN ELEVATOR PIT. EXISTING LIGHTING CIRCUIT SHALL REMAIN AND BE REUSED.</p> <p> DISCONNECT EXISTING MOTOR CONNECTION.</p> <p> REMOVE EXISTING ENCLOSED SWITCH.</p> <p> REMOVE EXISTING FIRE DETECTION AND ALARM SMOKE DETECTOR.</p> <p> CAREFULLY REMOVE EXISTING FIRE DETECTION AND ALARM SMOKE DETECTOR TO BE RELOCATED. EXISTING ASSOCIATED CABLING SHALL REMAIN.</p> <p> REMOVE EXISTING FIRE DETECTION AND ALARM HEAT DETECTOR.</p> <p> REMOVE EXISTING FIRE DETECTION AND ALARM MODULE.</p>
ABBREVIATIONS	LIGHTING
<p>A AMPERE(S)</p> <p>AIC AMPERES INTERRUPTING CAPACITY</p> <p>C CONDUIT</p> <p>CR CLASSROOM</p> <p>CRI COLOR RENDERING INDEX</p> <p>DSS DUCTLESS SPLIT SYSTEM</p> <p>DX DISCONNECT EXISTING</p> <p>ELEV ELEVATOR</p> <p>ETR EXISTING TO REMAIN</p> <p>FACP FIRE ALARM CONTROL PANEL</p> <p>G GROUND, GFCI (RECEPTACLE)</p> <p>GFCI GROUND FAULT CIRCUIT INTERRUPTER</p> <p>MCPS MONTGOMERY COUNTY PUBLIC SCHOOLS</p> <p>K KELVIN (LIGHTING COLOR TEMPERATURE)</p> <p>LED LIGHT-EMITTING DIODE</p> <p>MCA MINIMUM CIRCUIT AMPACITY</p> <p>MFS MAXIMUM FUSE SIZE</p> <p>NEMA NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION</p> <p>P POLE(S)</p> <p>PH PHASE</p> <p>RM ROOM</p> <p>V VOLT(S)</p> <p>W WIRE(S)</p> <p>WP WEATHERPROOF AND WEATHER-RESISTANT</p> <p>Ø PHASE</p>	<p> CEILING OUTLET AND 4-FOOT-LONG CEILING SUSPENDED LED STRIPLIGHT LIGHTING FIXTURE, MOUNTED 8'-6" ABOVE FLOOR, EQUAL TO METALUX, 4SNX-51SL-LC-UNV-L840-CD1, 4000K CRI, MINIMUM 5400 LUMENS. CONNECT TO EXISTING LIGHTING CIRCUIT IN ROOM.</p> <p> CEILING OUTLET AND 2' X 4' RECESS MOUNTED LED LIGHTING FIXTURE, EQUAL TO METALUX, 24CGTX-55-L835, 3500K CRI, MINIMUM 5500 LUMENS. CONNECT TO LIGHTING CIRCUIT INDICATED.</p> <p> WALL OUTLET AND 4-FOOT-LONG LINEAR VAPOR-TIGHT LIGHTING FIXTURE WITH SMOOTH ACRYLIC CLEAR LENS, WALL SURFACE MOUNTED, EQUAL TO ILP, WITZ4-5L-U-40-SACL, 4000K CRI, MINIMUM 5500 LUMENS. COORDINATE MOUNTING IN ELEVATOR PIT.</p>
WIRING	POWER
<p> WIRING IN CONDUIT. CONDUIT SHALL BE RUN CONCEALED WITHIN ABOVE ACCESSIBLE CEILINGS. CONDUIT MAY BE RUN EXPOSED ON EXISTING WALLS AND IN SUPPORT SPACES WITH OPEN CEILINGS, SUCH AS MECHANICAL AND ELECTRICAL ROOMS, OR WHERE CONCEALMENT IS NOT FEASIBLE.</p> <p> CONDUIT CONTINUED.</p> <p> HOMERUN TO PANELBOARD OR EXISTING CIRCUIT, AS INDICATED. NUMBER OF HASH MARKS INDICATES NUMBER OF CONDUCTORS, PLUS GROUND. WHERE NO HASH MARKS APPEAR, PROVIDE TWO CONDUCTORS PLUS GROUND. PROVIDE GROUND CONDUCTORS IN RACEWAYS AND CONDUITS.</p>	<p> ELEVATOR DISCONNECTING SWITCH IN NEMA TYPE 1 ENCLOSURE.</p> <p> ENCLOSED SWITCH (DISCONNECT/SAFETY SWITCH) IN NEMA TYPE 1 ENCLOSURE INDOORS AND NEMA 3R ENCLOSURE OUTDOORS. MOUNT 5'-6" ABOVE FLOOR TO TOP OF ENCLOSURE. RATING AND FUSING AS INDICATED.</p> <p> HARD-WIRED CONNECTION TO EQUIPMENT, AS INDICATED.</p> <p> MOTOR RATED TOGGLE SWITCH, DOUBLE-POLE, WITH NO OVERLOAD PROTECTION, IN NEMA TYPE 1 ENCLOSURE, MOUNTED ADJACENT TO EQUIPMENT BEING SERVED.</p> <p> DUPLEX RECEPTACLE (NEMA 5-20R), TAMPER-RESISTANT, GFCI-TYPE, WALL MOUNTED 24" ABOVE FLOOR, UNLESS OTHERWISE NOTED.</p> <p> EXTERIOR DUPLEX RECEPTACLE (NEMA 5-20R), GFCI-TYPE, WEATHER-RESISTANT-TYPE, TAMPER-RESISTANT, WITH WHILE-IN-USE LOCKABLE WEATHER-PROOF COVER, WALL MOUNTED 48" ABOVE ROOF LINE.</p>
EXISTING	SYSTEMS
<p> EXISTING TO REMAIN HOMERUN TO PANELBOARD.</p> <p> EXISTING TO REMAIN 2' X 4' RECESS MOUNTED LIGHTING FIXTURE.</p> <p> EXISTING TO REMAIN LINE-VOLTAGE TOGGLE SWITCH, WALL MOUNTED.</p> <p> EXISTING TO REMAIN 277/480-VOLT PANELBOARD, SURFACE MOUNTED.</p> <p> EXISTING TO REMAIN 120/208-VOLT PANELBOARD, SURFACE MOUNTED.</p> <p> EXISTING TO REMAIN BOX OR CABINET AS INDICATED.</p> <p> EXISTING TO REMAIN GFCI-TYPE RECEPTACLE.</p> <p> EXISTING TO REMAIN SPEAKER.</p> <p> EXISTING TO REMAIN FIRE DETECTION AND ALARM SMOKE DETECTOR, CEILING MOUNTED.</p> <p> RELOCATED EXISTING FIRE DETECTION AND ALARM SMOKE DETECTOR, CEILING MOUNTED ON EXISTING CEILING TILE. EXTEND EXISTING ASSOCIATED CABLING AND MAKE CONNECTIONS NECESSARY FOR COMPLETE INSTALLATION.</p> <p> EXISTING TO REMAIN FIRE DETECTION AND ALARM AUDIO AND VISUAL DEVICE, WALL MOUNTED.</p> <p> EXISTING TO REMAIN OUTLET BOX, RECESSED WALL MOUNTED.</p>	<p> TWO-GANG OUTLET BOX FOR COMMUNICATIONS, 2-1/8" DEPTH, 1" KNOCKOUT, SURFACE WALL MOUNTED. MOUNT ADJACENT TO ELEVATOR CONTROLLER. PROVIDE 1" EMPTY CONDUIT FROM BOX TO ADJACENT COMMUNICATIONS CLOSET VIA CEILING SPACE. PROVIDE DEVICE PLATE WITH THREE RJ-45 DATA JACKS AT OUTLET BOX. PROVIDE THREE CATEGORY 6 DATA CABLES FROM DATA JACKS TO EXISTING PATCH PANEL IN EXISTING DATA RACK IN ADJACENT COMMUNICATIONS CLOSET AND MAKE CONNECTIONS.</p> <p> SINGLE-GANG OUTLET BOX WITH BLANK COVER PLATE FOR ACCESS CONTROL SYSTEM CARD READER, 2-1/8" DEPTH, SURFACE WALL MOUNTED. CARD READER SHALL BE PROVIDED BY MCPS. PROVIDE SURFACE METAL RACEWAY FROM BOX UP TO ACCESSIBLE CEILING SPACE. PROVIDE CABLING FOR CARD READER FROM BOX TO COMMUNICATIONS CLOSET ON MAIN LEVEL ADJACENT TO ELEVATOR MACHINE ROOM. ROUTE CABLING VIA ADJACENT MECHANICAL ROOMS ON THE 2ND AND 3RD FLOORS. CABLING SHALL BE PER MCPS REQUIREMENTS. COORDINATE WITH MCPS FOR TERMINATION OF CABLING WITHIN COMMUNICATIONS CLOSET.</p>
	FIRE DETECTION AND ALARM
	<p> FLASHING INDICATING STROBE LIGHT, WALL MOUNTED ON SURFACE OUTLET BOX, 96" ABOVE FLOOR TO TOP OF BOX. PROVIDE 15 CANDELA STROBE LIGHT.</p> <p> SMOKE DETECTOR, MOUNTED ON SURFACE MOUNTED OUTLET BOX IN OPEN CEILINGS AND ELEVATOR SHAFT WALLS.</p> <p> HEAT DETECTOR, MOUNTED ON SURFACE MOUNTED OUTLET BOX IN OPEN CEILINGS AND ELEVATOR SHAFT WALLS.</p> <p> CONTROL MODULE IN JUNCTION BOX.</p> <p> MONITOR MODULE IN JUNCTION BOX.</p> <p> RELAY MODULE IN JUNCTION BOX.</p>



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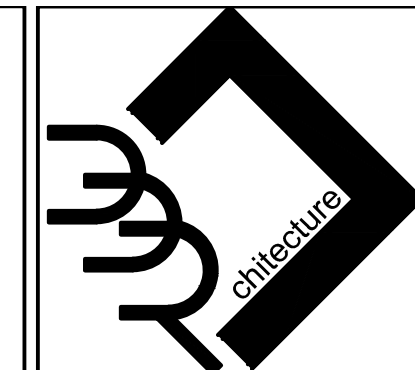
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LICENSE No. 24861
EXPIRATION DATE: 02-24-2026



CHURCHILL HS - ELEV. REPLACEMENT
MONTGOMERY COUNTY PUBLIC SCHOOLS
11300 GAINSBOROUGH ROAD
POTOMAC, MARYLAND 20854

ISSUE		
REV	DATE	DESCRIPTION
	01/07/25	BID SET

PROJECT NO.: 2024-13.04
DATE: 01/07/2025
ELECTRICAL SYMBOLS AND ABBREVIATIONS
E001

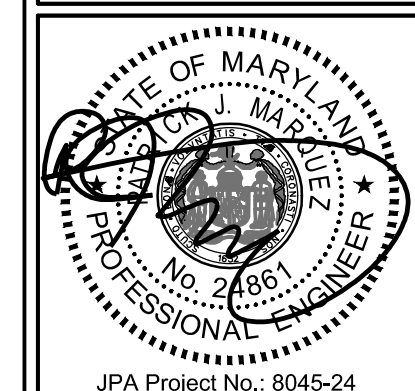


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11300 GAINSBOROUGH ROAD
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PART OVERALL FLOOR PLANS ELECTRICAL

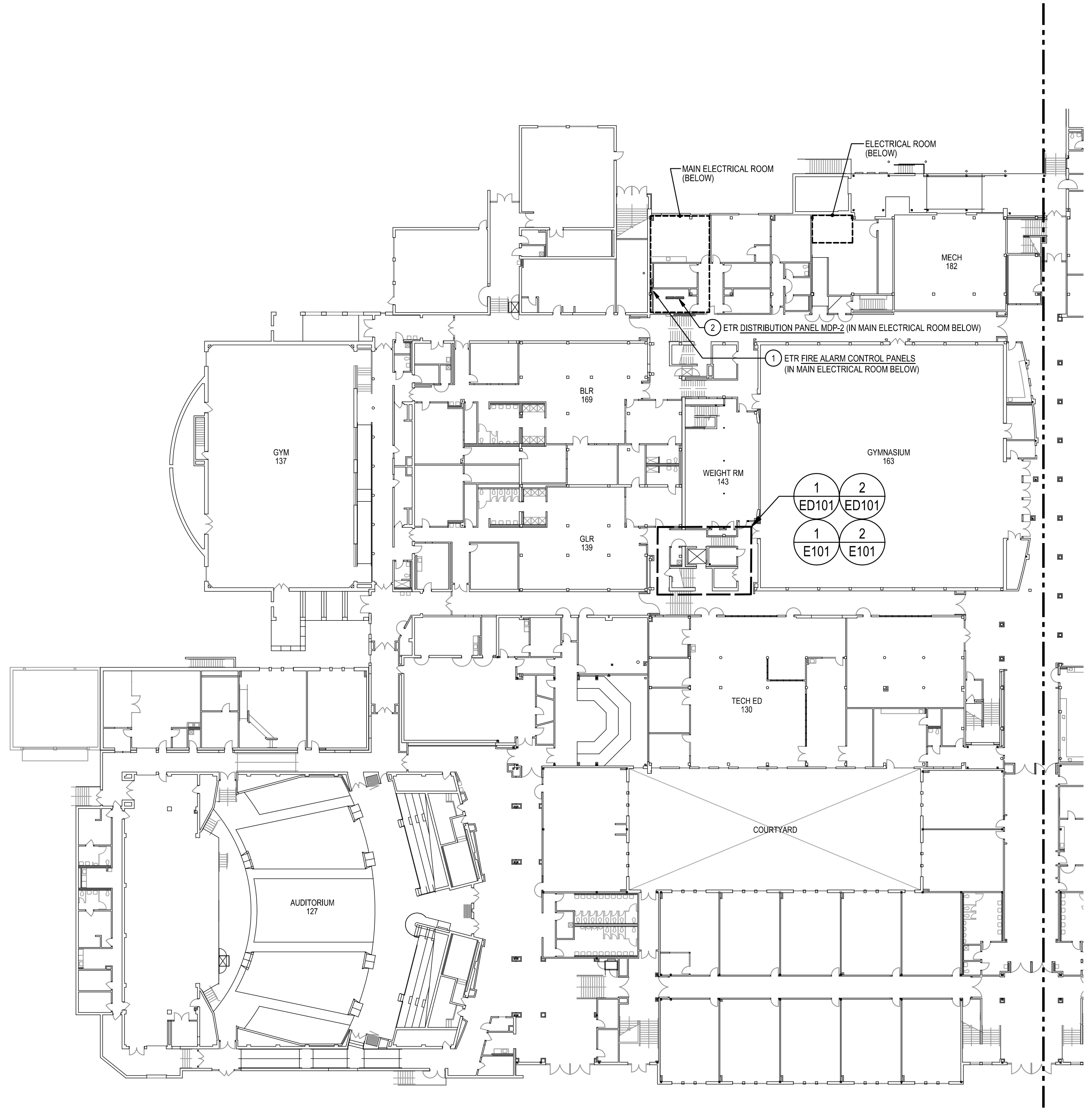
E002

GENERAL NOTES:

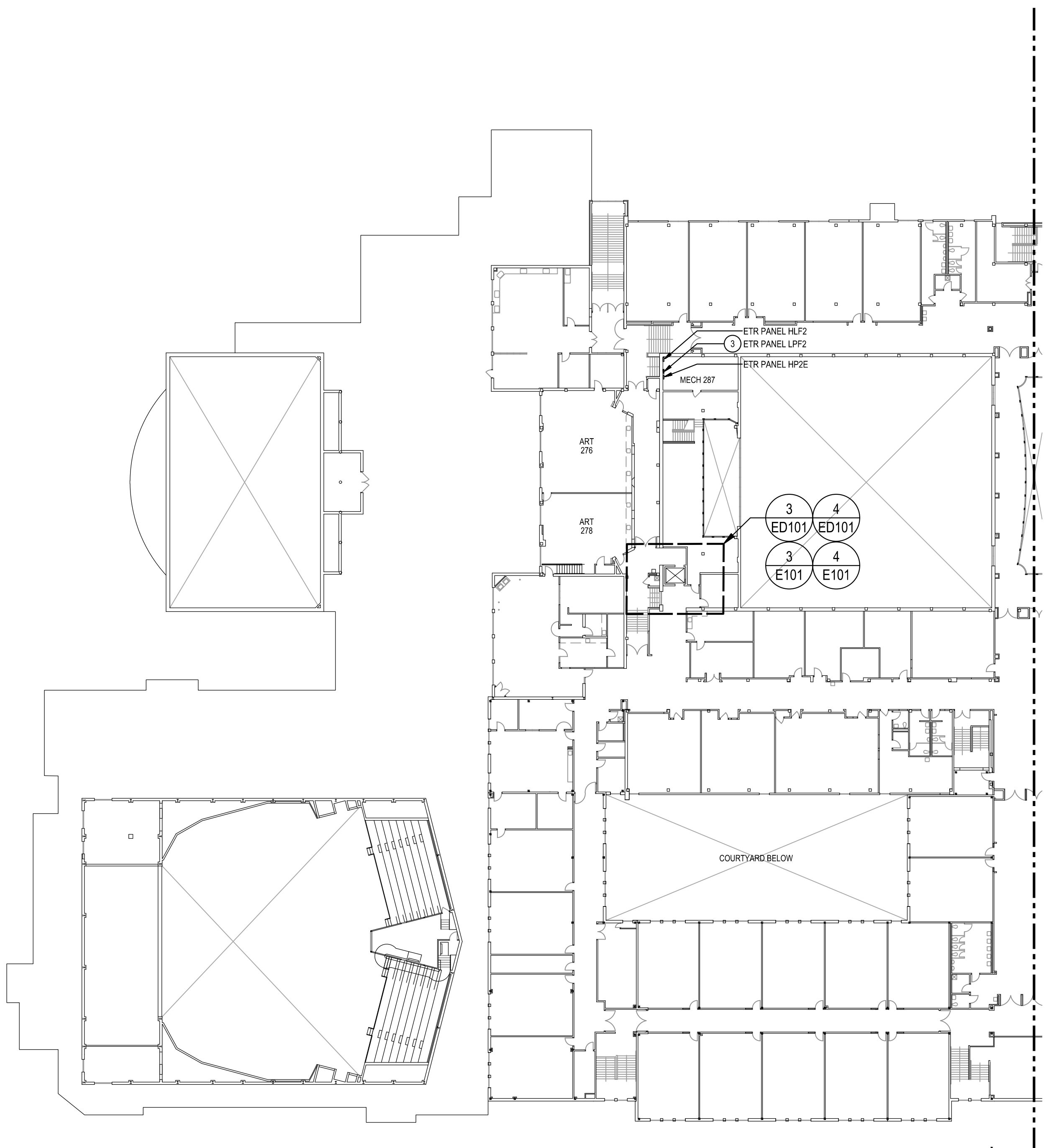
- A. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE EXISTING CONDITIONS IN DETAIL OR DIMENSION. DETERMINE EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING AND AWAIT DIRECTION BEFORE PROCEEDING WITH THE WORK.
- B. THE EXISTING FACILITY SHALL REMAIN IN OPERATION DURING RENOVATION. INTERRUPTION TO THE EXISTING BUILDING ELECTRIC SERVICE SHALL BE COORDINATED WITH THE OWNER TO MINIMIZE DISRUPTION. INTERRUPTION OF UTILITIES SHALL NOT OCCUR DURING SCHOOL WORKING HOURS.
- C. REMOVE AND REINSTALL EXISTING CEILING TILES WITHIN CONSTRUCTION AREAS AS REQUIRED.

SPECIFIC NOTES:

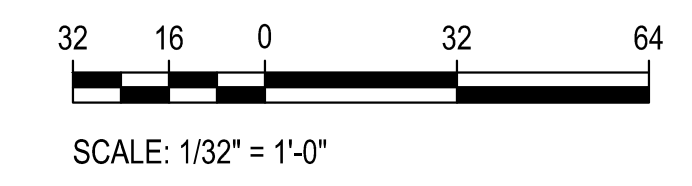
- ① REFER TO PART RISER DIAGRAM 1E001 FOR ADDITIONAL INFORMATION ON FIRE ALARM CONTROL PANELS.
- ② EXISTING DISTRIBUTION PANEL MDP-2 IS BY CUTLERHAMMER, TYPE PRL4, RATED AT 277/480 VOLTS, 3-PHASE, 4-WIRE, WITH 1200A BUS, MAIN LUGS ONLY. THERE IS AN EXISTING 3P-100A CIRCUIT BREAKER SERVING THE ELEVATOR.
- ③ PROVIDE 2P-15A CIRCUIT BREAKER IN EXISTING PANEL LPF2. CIRCUIT BREAKER SHALL MATCH EXISTING FOR TYPE AND ARC RATING.



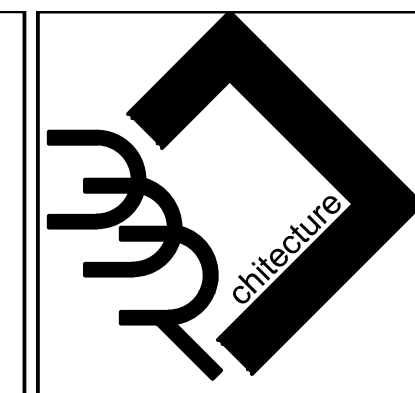
1 PART OVERALL FLOOR PLAN - MAIN LEVEL
WINSTON CHURCHILL HIGH SCHOOL
SCALE: 1/32"=1'-0"



2 PART OVERALL FLOOR PLAN - UPPER LEVEL
WINSTON CHURCHILL HIGH SCHOOL
SCALE: 1/32"=1'-0"



January 06, 2025 2:48 p.m.
Drawing: 1 - 240-994-1535-06-ARCHITECTURE-ELECTRICAL-WINCHHS-E002.DWG - PMARQUEZ



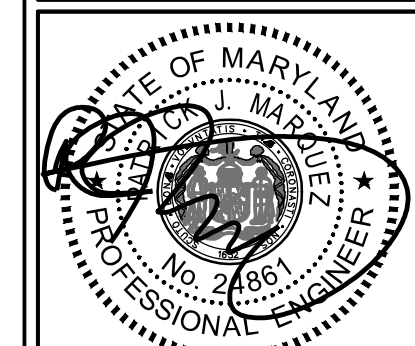
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**PART ELEVATOR
FLOOR PLANS
ELECTRICAL
DEMOLITION**

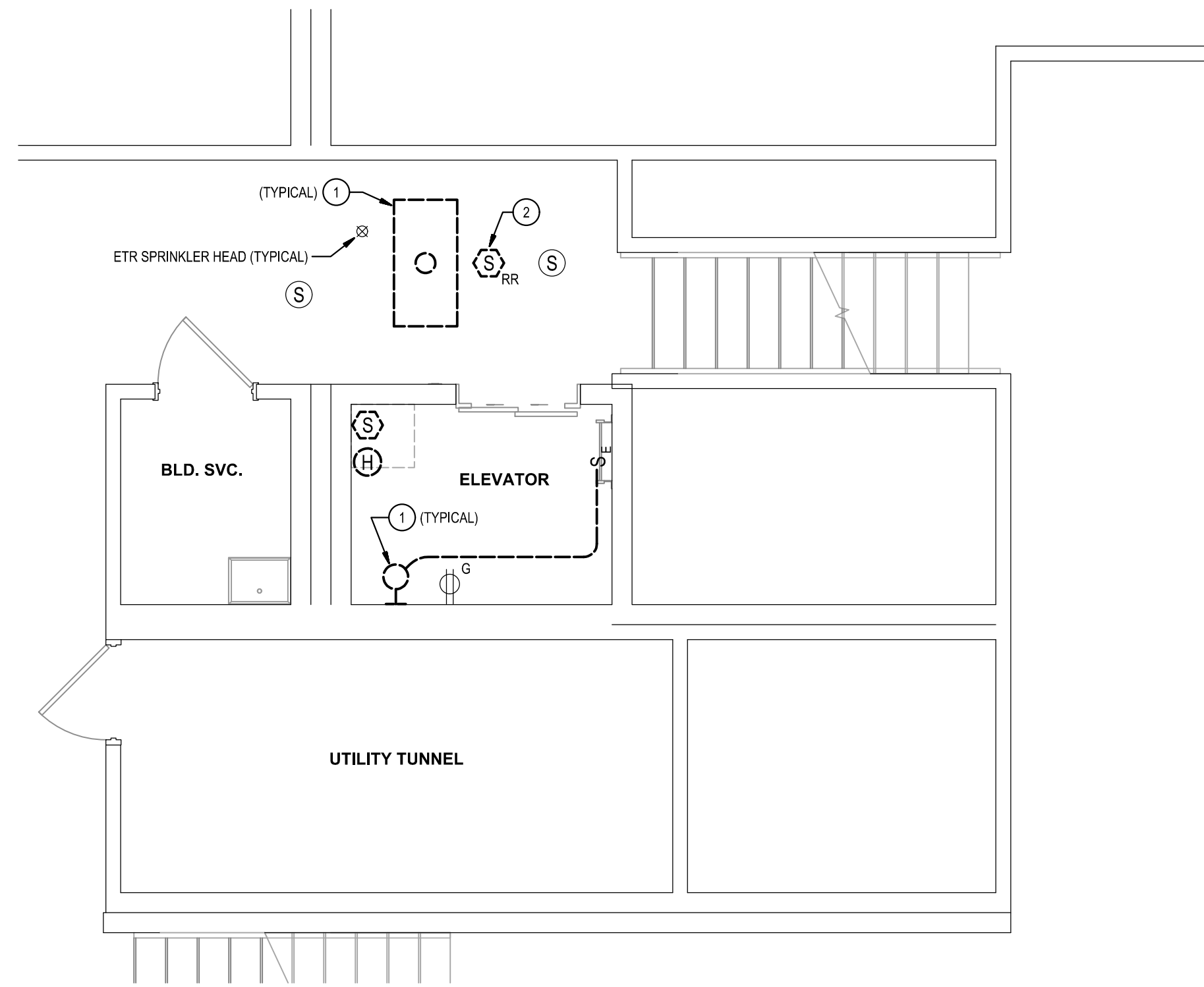
ED101

GENERAL NOTES:

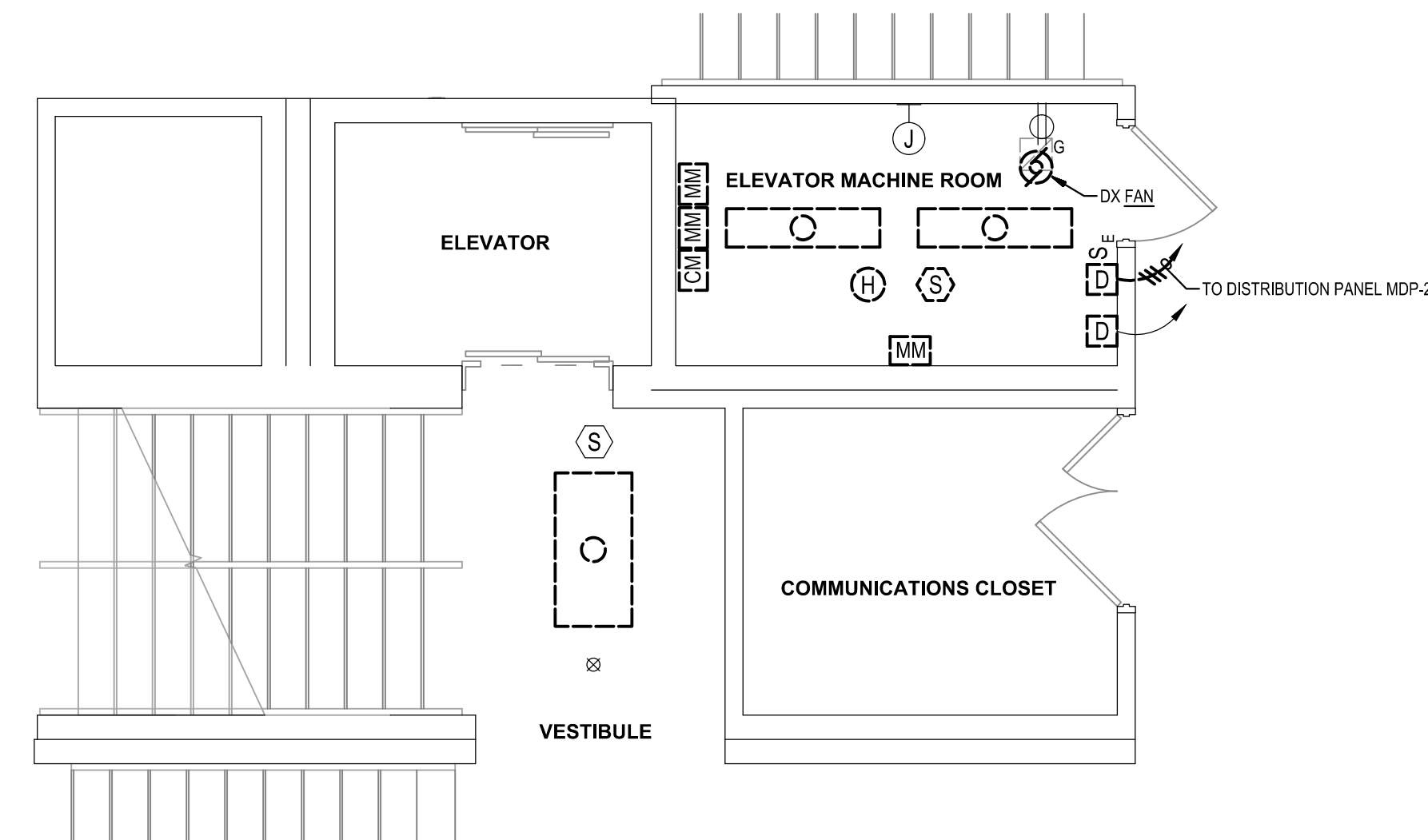
- A. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE EXISTING CONDITIONS IN DETAIL OR DIMENSION. DETERMINE EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING AND AWAIT DIRECTION BEFORE PROCEEDING WITH THE WORK.
- B. THE EXISTING FACILITY SHALL REMAIN IN OPERATION DURING RENOVATION. INTERRUPTION TO THE EXISTING BUILDING ELECTRIC SERVICE SHALL BE COORDINATED WITH THE OWNER TO MINIMIZE DISRUPTION. INTERRUPTION OF UTILITIES SHALL NOT OCCUR DURING SCHOOL WORKING HOURS.
- C. REMOVE AND REINSTALL EXISTING CEILING TILES WITHIN CONSTRUCTION AREAS AS REQUIRED.
- D. UNLESS OTHERWISE NOTED, ELECTRICAL ITEMS SHOWN HEAVY DASHED () SHALL BE REMOVED AND ELECTRICAL ITEMS SHOWN LIGHT SOLID () SHALL REMAIN.
- E. COORDINATE WITH MECHANICAL WORK SHOWN AND DISCONNECT MECHANICAL EQUIPMENT AS INDICATED AND REQUIRED.
- F. WHERE EQUIPMENT AND DEVICES ARE NOTED "DISCONNECT" OR "REMOVE", REMOVE ASSOCIATED WIRE AND CONDUIT BACK TO SOURCE, UNLESS OTHERWISE NOTED.
- G. EXISTING CIRCUITS INTERRUPTED BY DEMOLITION, BUT ARE TO REMAIN, SHALL BE MADE CONTINUOUS.
- H. WHERE DEVICES ARE TO BE REMOVED AND REINSTALLED, PROVIDE WIRE AND CONDUIT TO NEW LOCATION AS REQUIRED.
- I. IN BLOCK OR CONCRETE WALLS TO REMAIN, PROVIDE STAINLESS STEEL BLANK COVER PLATES FOR DEVICES REMOVED.
- J. WHERE CIRCUITS ARE REMOVED BACK TO PANELS, ASSOCIATED BREAKERS MAY BE UTILIZED FOR NEW CIRCUITING.
- K. DEMOLITION SHALL INCLUDE REMOVAL AND OFF-SITE DISPOSAL OF MATERIALS. DO NOT ABANDON IN PLACE ANY ELECTRICAL COMPONENTS UNLESS OTHERWISE NOTED ON DRAWINGS.

SPECIFIC NOTES:

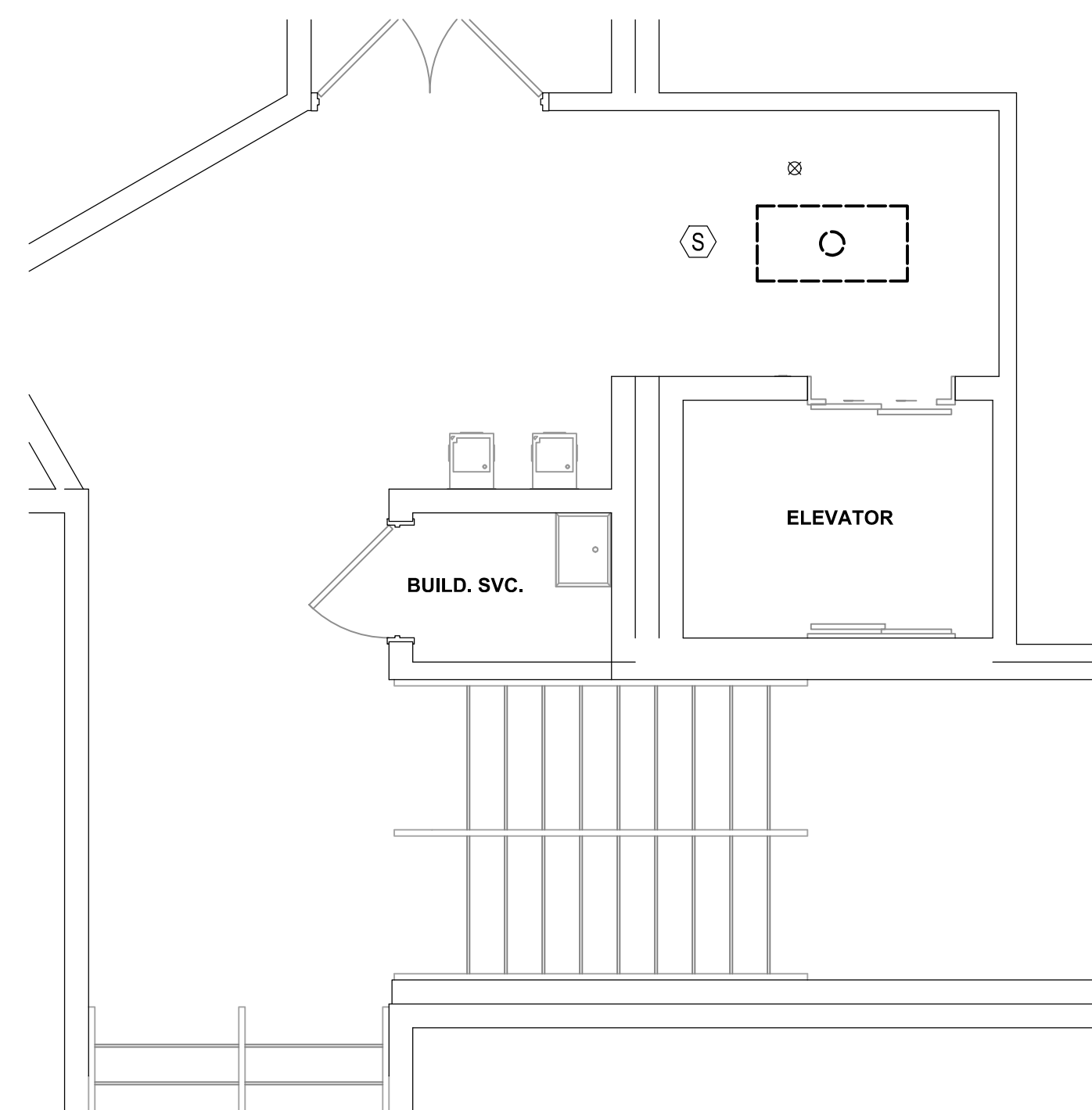
- 1 DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURE. LEAVE INTACT EXISTING BRANCH CIRCUIT WIRING IN CONDUIT FOR REUSE.
- 2 DISCONNECT, CAREFULLY REMOVE, AND STORE EXISTING DEVICE TO BE REINSTALLED IN NEARBY LOCATION. LEAVE INTACT EXISTING CABLING OR WIRING IN CONDUIT FOR REUSE.



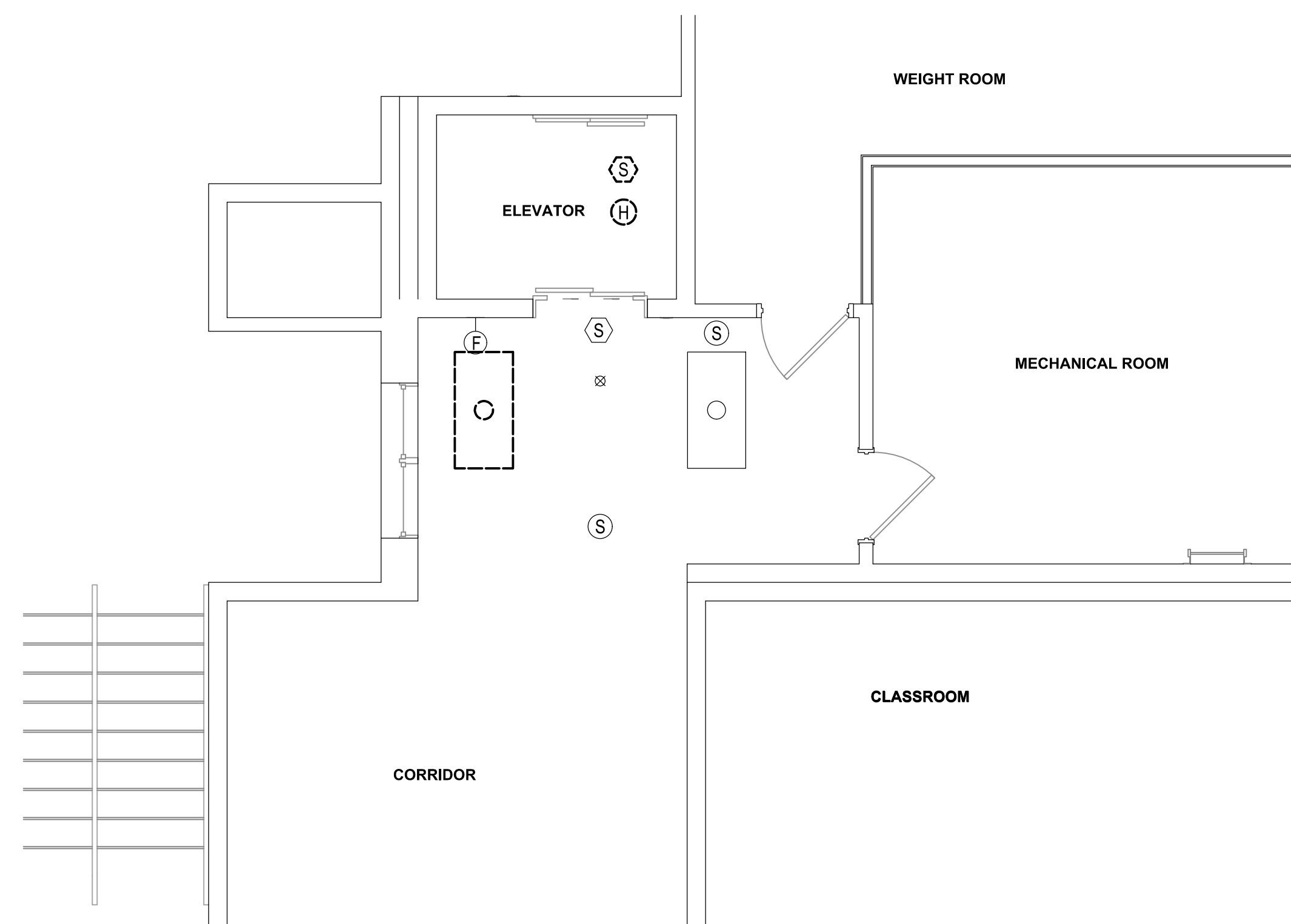
1 PART PLAN - LOWER LEVEL
ED101 ELECTRICAL - DEMOLITION
SCALE: 1/4"=1'-0"



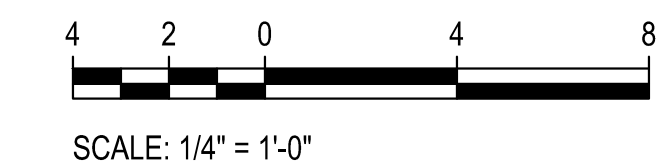
2 PART PLAN - MAIN LEVEL
ED101 ELECTRICAL - DEMOLITION
SCALE: 1/4"=1'-0"



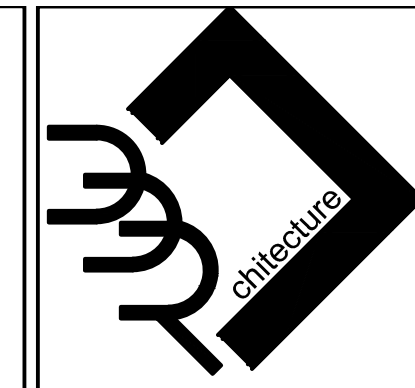
3 PART PLAN - 2ND FLOOR
ED101 ELECTRICAL - DEMOLITION
SCALE: 1/4"=1'-0"



4 PART PLAN - 3RD FLOOR
ED101 ELECTRICAL - DEMOLITION
SCALE: 1/4"=1'-0"



January 06, 2025 2:48 p.m.
Drawing: 1: Mechanical - Electrical Demolition Plans
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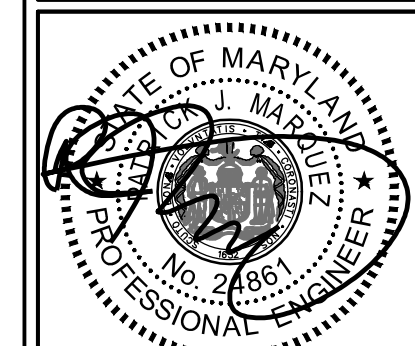
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PART ELEVATOR
FLOOR PLANS
ELECTRICAL
NEW WORK

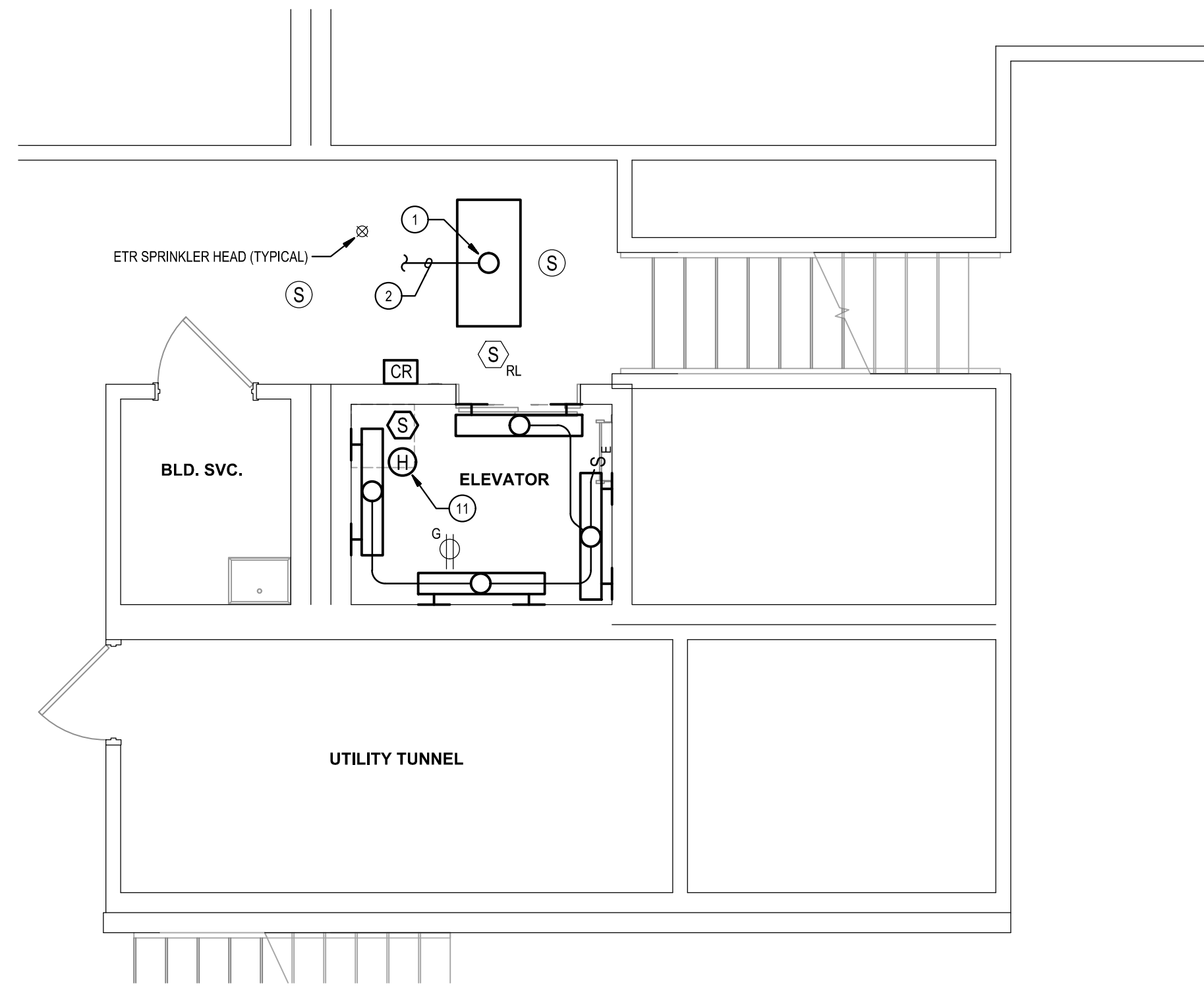
E101

GENERAL NOTES:

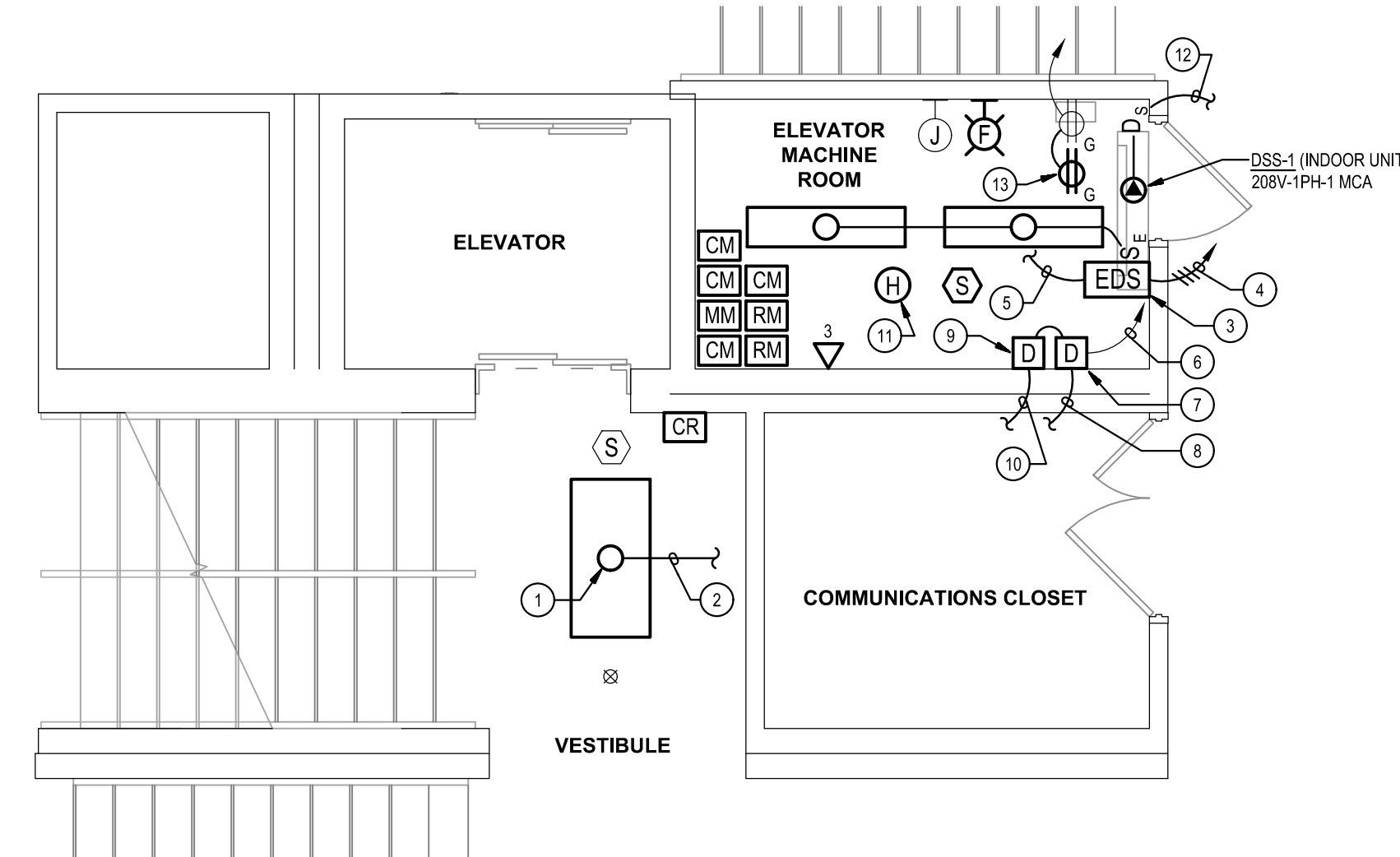
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- B. THE EXISTING FACILITY SHALL REMAIN IN OPERATION DURING RENOVATION. INTERRUPTION TO THE EXISTING BUILDING ELECTRIC SERVICE SHALL BE COORDINATED WITH THE OWNER TO MINIMIZE DISRUPTION. INTERRUPTION OF UTILITIES SHALL NOT OCCUR DURING SCHOOL WORKING HOURS.
- C. REMOVE AND REINSTALL EXISTING CEILING TILES WITHIN CONSTRUCTION AREAS AS REQUIRED.

SPECIFIC NOTES:

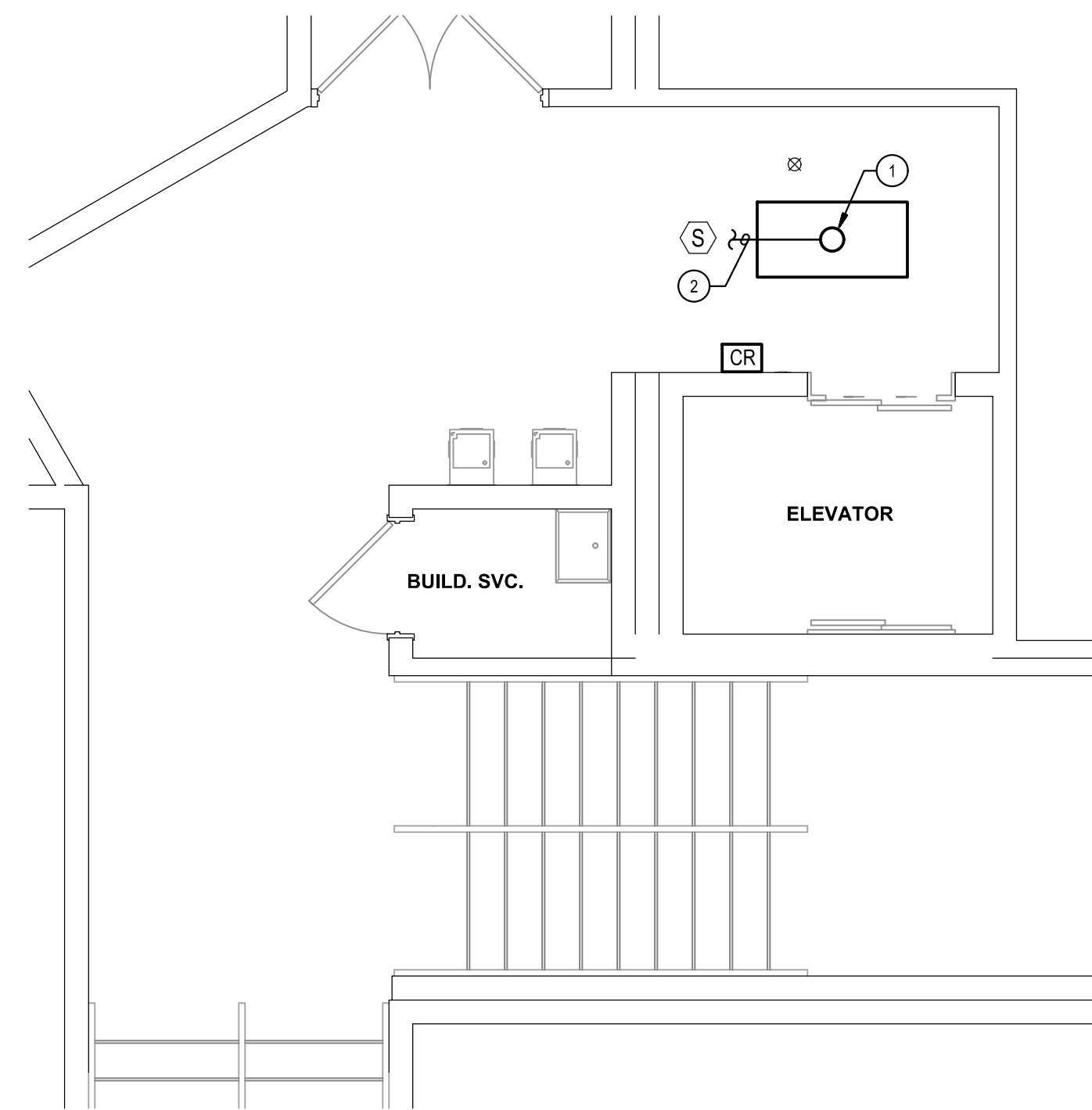
- 1. LIGHTING FIXTURE AS INDICATED SHALL BE UNSWITCHED.
- 2. PROVIDE UNSWITCHED EMERGENCY LIGHTING CIRCUIT (2 #12 + #12 GROUND IN 3/4" CONDUIT) AND CONNECT TO NEAREST EXISTING UNSWITCHED EMERGENCY LIGHTING CIRCUIT.
- 3. PROVIDE 3P-100A-480V ELEVATOR DISCONNECTING SWITCH WITH FUSES AND AUXILIARY CONTACTS IN NEMA 1 ENCLOSURE. FUSE PER ELEVATOR MANUFACTURER'S RECOMMENDATIONS.
- 4. PROVIDE 3 #2 + #8 GROUND IN 1-1/4" CONDUIT AND CONNECT TO EXISTING 3P-100A CIRCUIT BREAKER TO EXISTING DISTRIBUTION PANEL MDP-2. REFER TO SPECIFIC NOTE 2E002 FOR ADDITIONAL INFORMATION.
- 5. PROVIDE 3 #2 + #8 GROUND IN 1-1/4" CONDUIT AND CONNECT TO ELEVATOR CONTROLLER.
- 6. UTILIZE EXISTING BRANCH CIRCUIT SERVING ELEVATOR CAB.
- 7. PROVIDE 2P-30A FUSED ENCLOSED SWITCH IN NEMA TYPE 1 ENCLOSURE FOR ELEVATOR CAB. FUSE PER ELEVATOR MANUFACTURER'S RECOMMENDATIONS.
- 8. PROVIDE 2 #12 + #12 GROUND IN 3/4" CONDUIT TO SERVE ELEVATOR CAB.
- 9. PROVIDE 2P-30A FUSED ENCLOSED SWITCH IN NEMA TYPE 1 ENCLOSURE FOR POWER TO DISPLAY VIDEO IN ELEVATOR CAB. FUSE PER ELEVATOR MANUFACTURER'S RECOMMENDATIONS.
- 10. PROVIDE 2 #12 + #12 GROUND IN 3/4" CONDUIT TO POWER CONNECTION FOR DISPLAY VIDEO IN ELEVATOR CAB.
- 11. PROVIDE 135-DEGREE FIXED TEMPERATURE HEAT DETECTOR FOR OPERATION OF ELEVATOR SHUNT-TRIP CIRCUIT BREAKER AT ELEVATOR DISCONNECTING SWITCH. PROVIDE ONE HEAT DETECTOR WITHIN 18" OF EACH SPRINKLER HEAD IN ELEVATOR SHAFT, ELEVATOR PIT, AND ELEVATOR MACHINE ROOM.
- 12. PROVIDE 3 #12 + #12 GROUND IN 3/4" CONDUIT TO DSS-1 OUTDOOR UNIT AND MAKE CONNECTIONS. ROUTE WITH REFRIGERANT PIPING.
- 13. MOUNT RECEPTACLE ADJACENT TO CONDENSATE PUMP. REFER TO DRAWING M101 FOR LOCATION OF CONDENSATE PUMP. PROVIDE 2 #12 + #12 GROUND IN 3/4" CONDUIT AND CONNECT TO EXISTING RECEPTACLE IN ROOM.
- 14. PROVIDE 2P-30A FUSED ENCLOSED SWITCH FOR DSS-1 OUTDOOR UNIT (208V-10, 11 MCA, 15 MFS) WITH 15A FUSES IN NEMA TYPE 3R ENCLOSURE.
- 15. PROVIDE 2 #10 AND #10 GROUND IN 3/4" CONDUIT AND CONNECT TO 2P-15A CIRCUIT BREAKER PROVIDED IN EXISTING PANEL LPF2. REFER TO SPECIFIC NOTE 3E002.
- 16. PROVIDE 2 #10 AND #10 GROUND IN 3/4" CONDUIT AND CONNECT TO 1P-20A SPARE CIRCUIT BREAKER IN EXISTING PANEL LPF2.



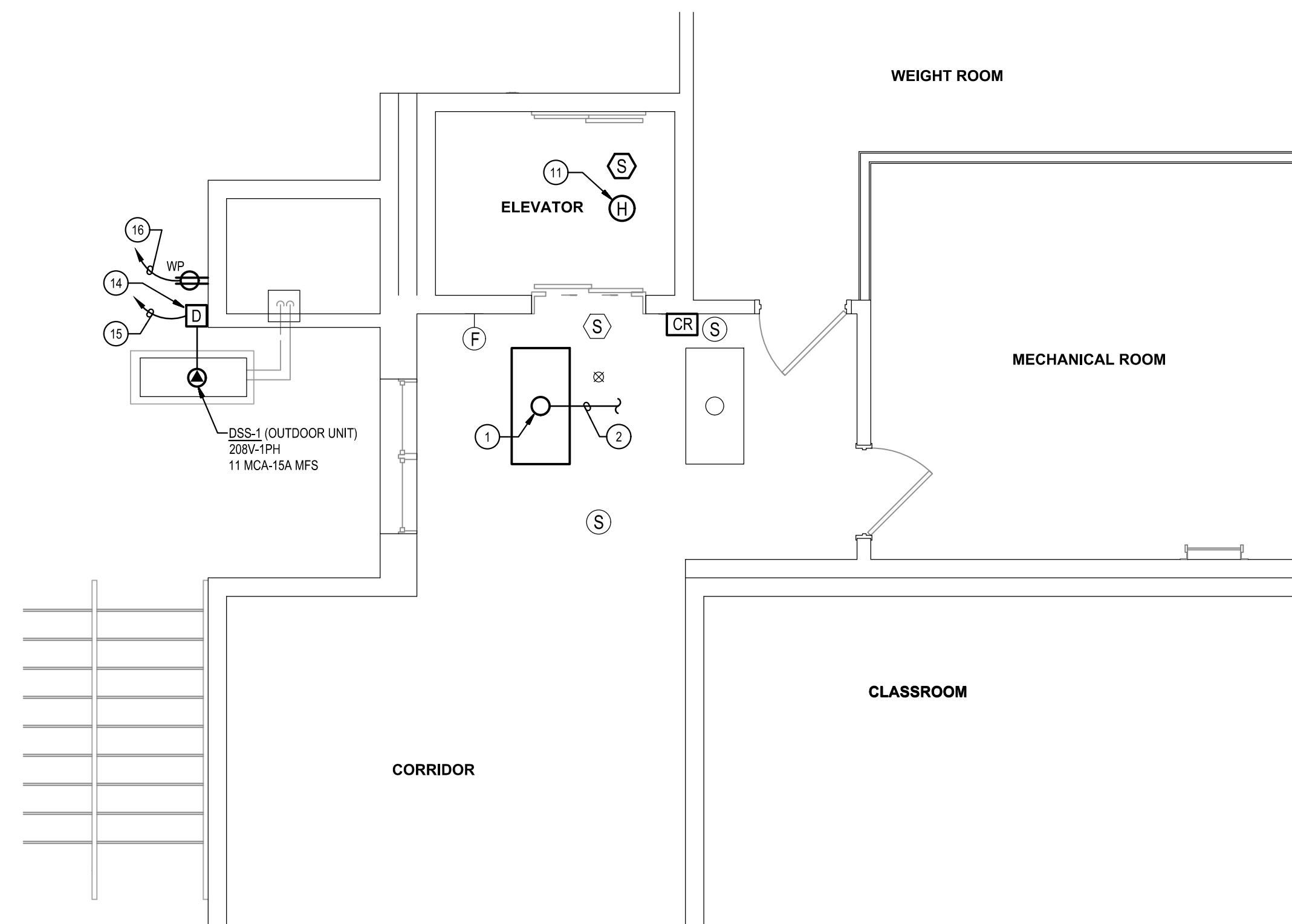
1 PART PLAN - LOWER LEVEL
E101 ELECTRICAL - NEW WORK
SCALE: 1/4"=1'-0"



2 PART PLAN - MAIN LEVEL
E101 ELECTRICAL - NEW WORK
SCALE: 1/4"=1'-0"



3 PART PLAN - 2ND FLOOR
E101 ELECTRICAL - NEW WORK
SCALE: 1/4"=1'-0"



4 PART PLAN - 3RD FLOOR
E101 ELECTRICAL - NEW WORK
SCALE: 1/4"=1'-0"

